



STAGE 6A

True coastal living
Coastal Boulevard, Ocean Grove

NEW LAND RELEASE



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\$20k
DEPOSIT


\$5k
GARDEN
BONUS INC*.


Titles
ANTICIPATED
Q1 2024



NEW LAND RELEASE



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For sales enquiries contact Ocean Grove Real Estate on 03 5255 0800

THIS PLAN IS NOT TO SCALE. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ACCURATELY REPRESENT PLANS, THIS ILLUSTRATION IS SUBJECT TO CHANGE BY THE DEVELOPER AND/OR STATUTORY AUTHORITIES. THE INFORMATION INCLUDING IMAGES AND DESCRIPTIONS CONTAINED IN THIS PLAN ARE ILLUSTRATIVE OR INDICATIVE ONLY AND AS SUCH SHOULD NOT BE RELIED UPON. PLEASE REFER TO THE PLAN OF SUBDIVISION AND STATUTORY DOCUMENTS FOR FURTHER DETAILS.

*Terms and conditions apply, please see website for details.



Kingston Coast Ocean Grove - Stage 6A

Pricing - On Sale 2 June 2023

#Indicates corner allotments

** Indicates lots subject to fill

^^ Unit site

*Pricelist and availability are subject to change, please contact the agency for the most up to date information

Lot No.	Street	Size (m2)	Width(m)	Price	Status
601	Coastal Boulevard	645	24.03	\$613,900	Available
602	Coastal Boulevard	562	16.18	\$549,900	Available
603	Coastal Boulevard	648	22.35	\$608,900	Available
604	Coastal Boulevard	472	14.35	\$498,900	Available
605	Coastal Boulevard	617	21.89	\$587,900	Available
606	Coastal Boulevard	465	14.66	\$484,900	Available
607	Coastal Boulevard	448	14	\$479,900	Available
608	Coastal Boulevard	448	14	\$479,900	Available
609	Coastal Boulevard	448	14	\$479,900	Available
620	Duneview Drive	560	16	\$549,900	Available
621	Duneview Drive	560	16	\$549,900	Available

ENQUIRE NOW

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Kingston Coast Ocean Grove - Stage 6A

Pricing - On Sale 2 June 2023

#Indicates corner allotments

** Indicates lots subject to fill

^^ Unit site

*Pricelist and availability are subject to change, please contact the agency for the most up to date information

Lot No.	Street	Size (m2)	Width(m)	Price	Status
622	Duneview Drive	560	16	\$549,900	Available
623	Duneview Drive	567	14.69	\$549,900	Available
624	Duneview Drive	623	17.39	\$589,900	Available
625	Duneview Drive	638	15.66	\$599,900	Available
626	Duneview Drive	587	12.55	\$568,900	Available
627	Duneview Drive	376	20.93	\$425,900	Available
628	Duneview Drive	357	12.77	\$415,900	Available
629	Duneview Drive	427	14.06	\$459,900	Available
630	Duneview Drive	496	16	\$505,900	Available
631	Duneview Drive	496	16	\$505,900	Available
632	Duneview Drive	496	16	\$505,900	Available

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Kingston Coast Ocean Grove - Stage 6A

Pricing - On Sale 2 June 2023

#Indicates corner allotments

** Indicates lots subject to fill

^^ Unit site



*Pricelist and availability are subject to change, please contact the agency for the most up to date information

Lot No.	Street	Size (m2)	Width(m)	Price	Status
#658	Coastal Boulevard	590	20.19	\$569,900	Available

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MASTERPLAN



 True coastal living

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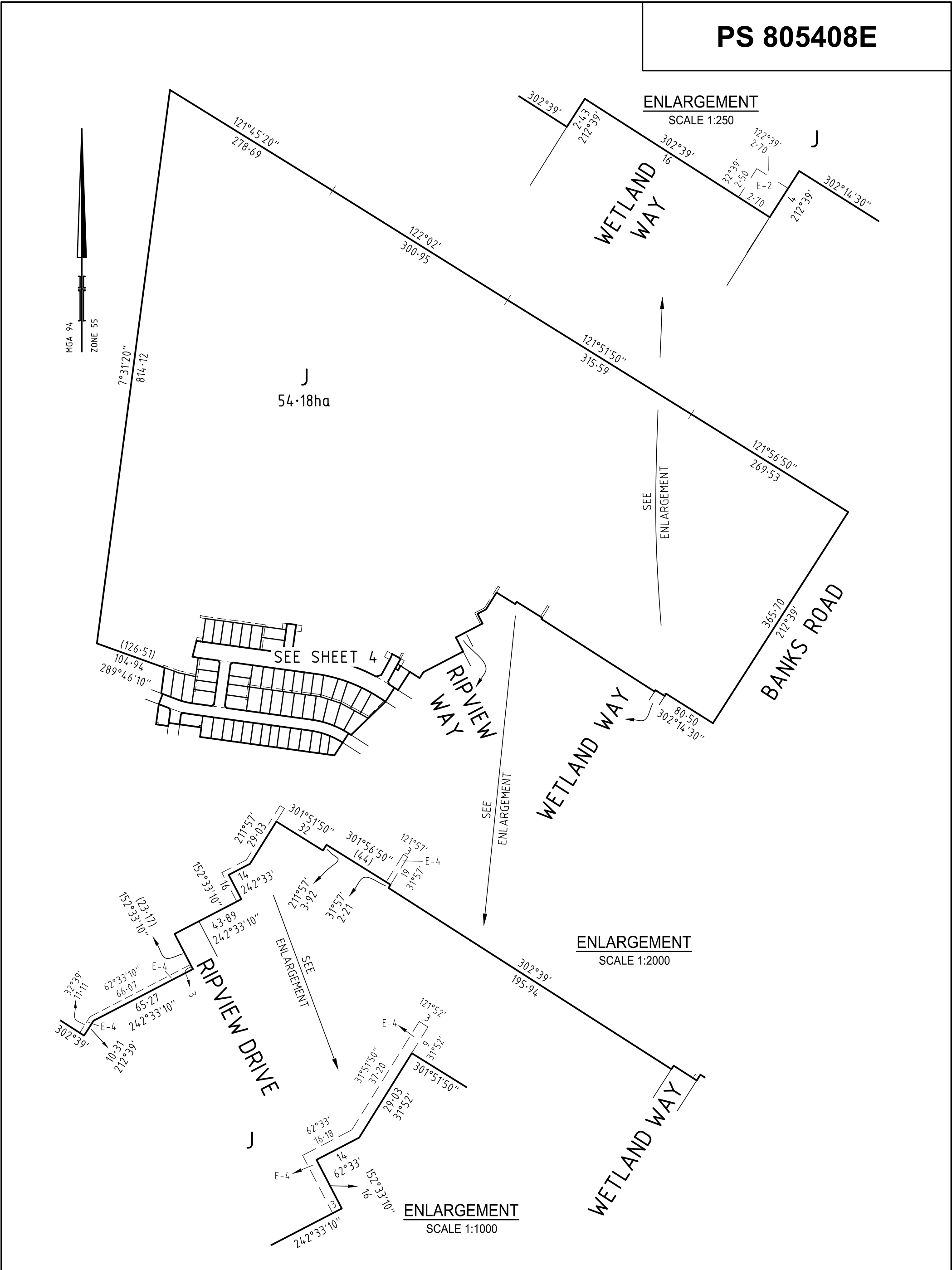
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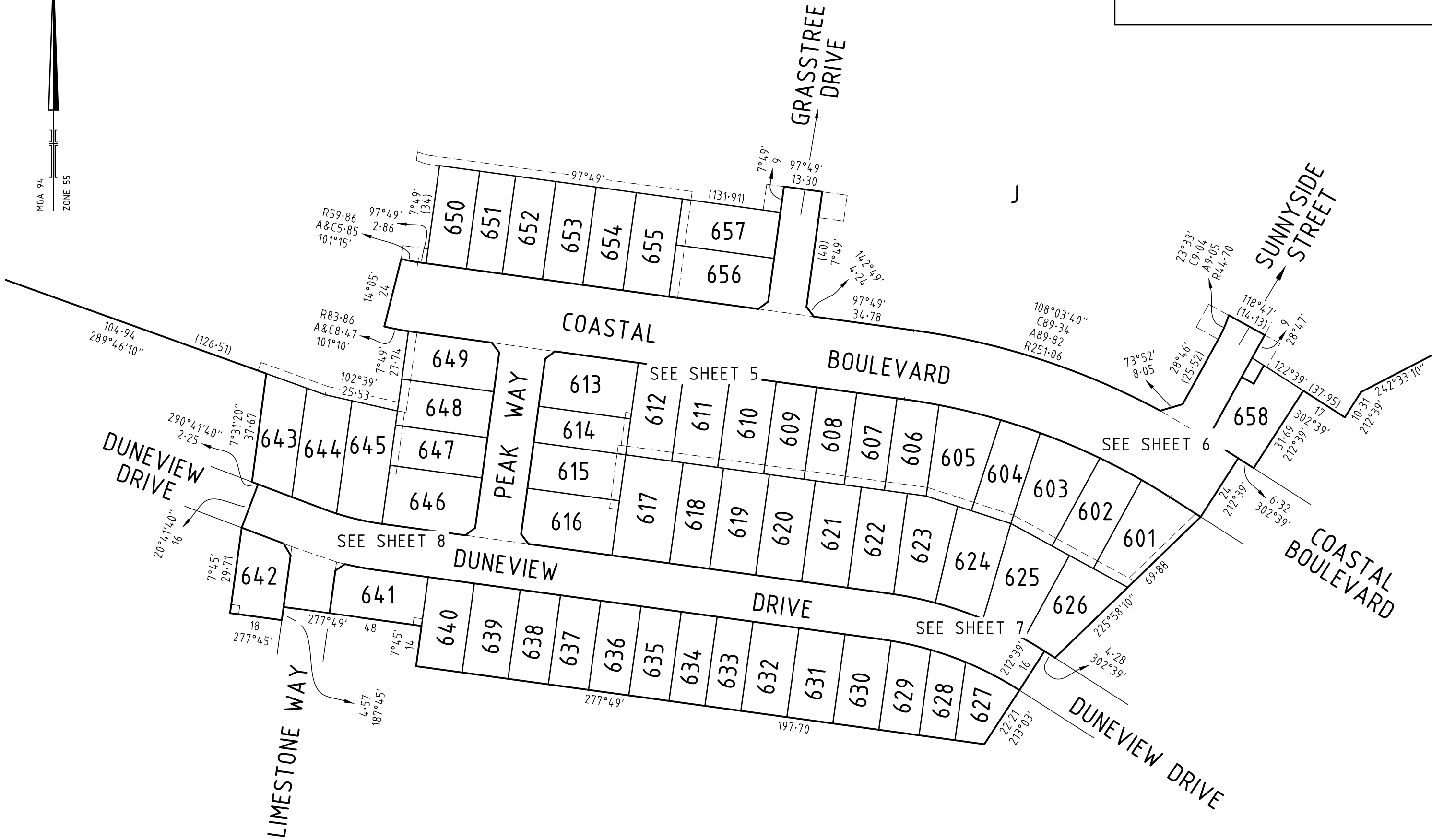
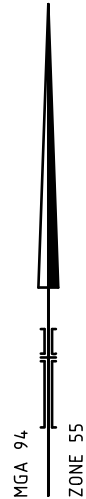
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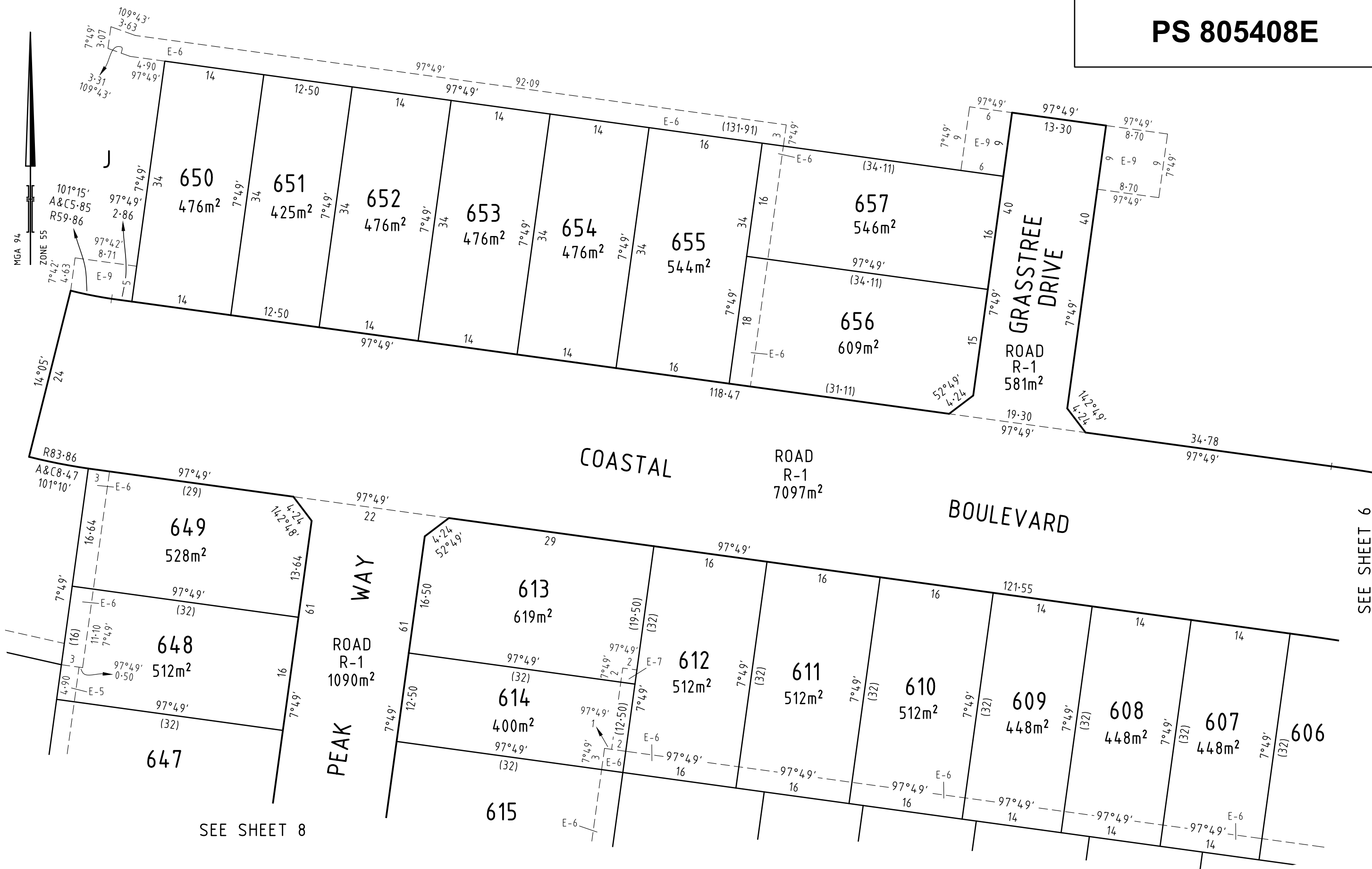

OCEANGROVEREAL ESTATE.COM.AU

PLAN OF SUBDIVISION			EDITION 1		PS 805408E	
LOCATION OF LAND PARISH: BELLARINE TOWNSHIP: - SECTION: 18 ³ CROWN ALLOTMENT: 4 (PART) & 5 (PART) CROWN PORTION: - TITLE REFERENCE: C/T VOL FOL LAST PLAN REFERENCE: LOT H ON PS 805404N POSTAL ADDRESS: 230 COASTAL BOULEVARD (at time of subdivision) OCEAN GROVE, 3226 MGA94 CO-ORDINATES: E: 286 390 ZONE: 55 (of approx centre of land in plan) N: 5 763 730						
VESTING OF ROADS AND/OR RESERVES			Notations			
IDENTIFIER		COUNCIL/BODY/PERSON		Lot Nos 1-600 (both inclusive) and Lots A-I (both inclusive) have been omitted from this plan. See Sheet 9 for Creation of Restrictions. <u>Other Purpose of Plan</u> To remove by agreement that section of Easement E-6 created on PS 721153D that lies within Road R-1 (Coastal Boulevard, Peak Way and Duneview Drive) on this plan, via Section 6(1)(k) of the Subdivision Act 1988 <u>Grounds for Removal</u> By Agreement		
ROAD R-1 RESERVE No.1		CITY OF GREATER GEELONG POWERCOR AUSTRALIA LIMITED				
NOTATIONS						
DEPTH LIMITATION DOES NOT APPLY						
SURVEY: This plan is based on survey in BP2759N STAGING: This is not a staged subdivision Planning Permit No. 1263-2011 This survey has been connected to permanent marks No(s). 20, 21, 140, 141, 166, 168 In Proclaimed Survey Area No. - 276, 284, 306 & 315 (Parish of Bellarine) & 241 Parish of Paywit						
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of		
		SEE SHEET 2 FOR EASEMENT INFORMATION				
KINGSTON COAST STAGE 6 (58 LOTS)			AREA OF STAGE - 4.412ha			
 <div>10 Moorabool Street PO Box 4032 Geelong Vic 3220 T 61 3 5249 6888 spiire.com.au</div>		SURVEYORS FILE REF: 305092SV00		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 9	
		Licensed Surveyor: Lyall Murray Timms Version: 18				

					PS 805408E	
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of		
E-1	Drainage	3	PS 805383T	City of Greater Geelong		
E-1	Pipelines or Ancillary Purposes	3	PS 805383T Section 136 of the Water Act 1989	Barwon Region Water Corporation		
E-2	Pipelines or Ancillary Purposes	See Diag	PS 721153D Section 136 of The Water Act 1989	Barwon Region Water Corporation		
E-3	Pipelines or Ancillary Purposes	See Diag	PS 805401U Section 136 of the Water Act 1989	Barwon Region Water Corporation		
E-3	Drainage	See Diag	PS 805401U	City of Greater Geelong		
E-4	Pipelines or Ancillary Purposes	3	PS 805404N Section 136 of the Water Act 1989	Barwon Region Water Corporation		
E-4	Drainage	3	PS 805404N	City of Greater Geelong		
E-5	Pipelines or Ancillary Purposes	2.50	This Plan Section 136 of the Water Act 1989	Barwon Region Water Corporation		
E-6	Drainage	3	This Plan	City of Greater Geelong		
E-6	Pipelines or Ancillary Purposes	3	This Plan Section 136 of the Water Act 1989	Barwon Region Water Corporation		
E-7	Drainage	2	This Plan	City of Greater Geelong		
E-8	Pipelines or Ancillary Purposes	3	This Plan Section 136 of the Water Act 1989	Barrwon Region Water Corporation		
E-9	Carriageway	See Diag	This Plan	City of Greater Geelong		
<div><div><div>spiire</div><div>10 Moorabool Street PO Box 4032 Geelong Vic 3220 T 61 3 5249 6888 spiire.com.au</div></div><div>Licensed Surveyor: Lyall Murray Timms Ref: 305092SV00 Version: 18</div></div>			ORIGINAL SHEET SIZE: A3		SHEET 2	







PS 805408E



SEE SHEET 5

COASTAL

ROAD
R-1
7097m²

BOULEVARD

RESERVE
No.1
35.3m²

607

606
465m²

605
617m²

604
472m²

603
648m²

602
562m²

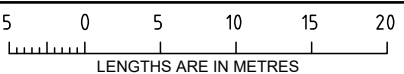
601
645m²

SEE SHEET 7

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SCALE
1: 500



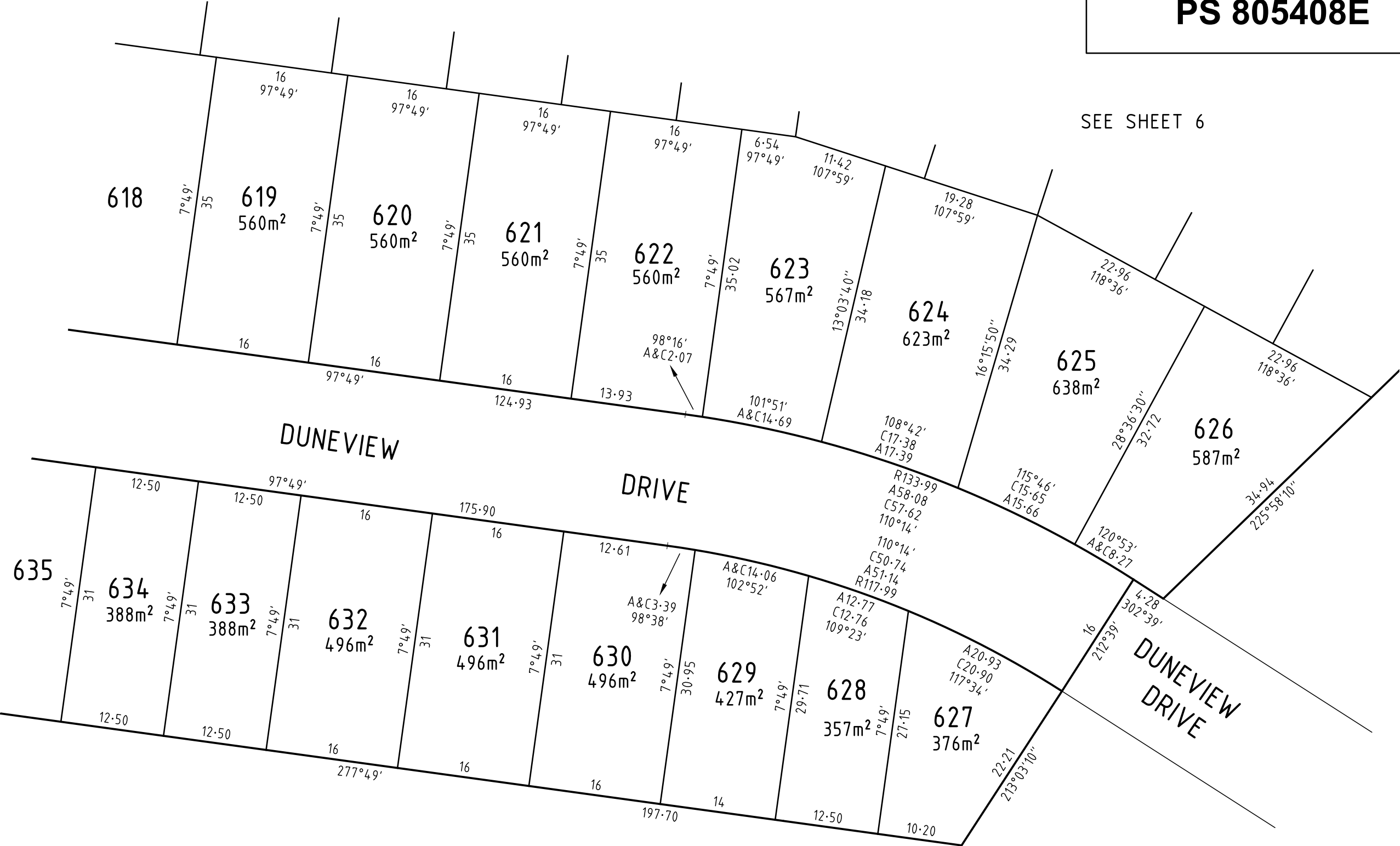
ORIGINAL SHEET
SIZE: A3

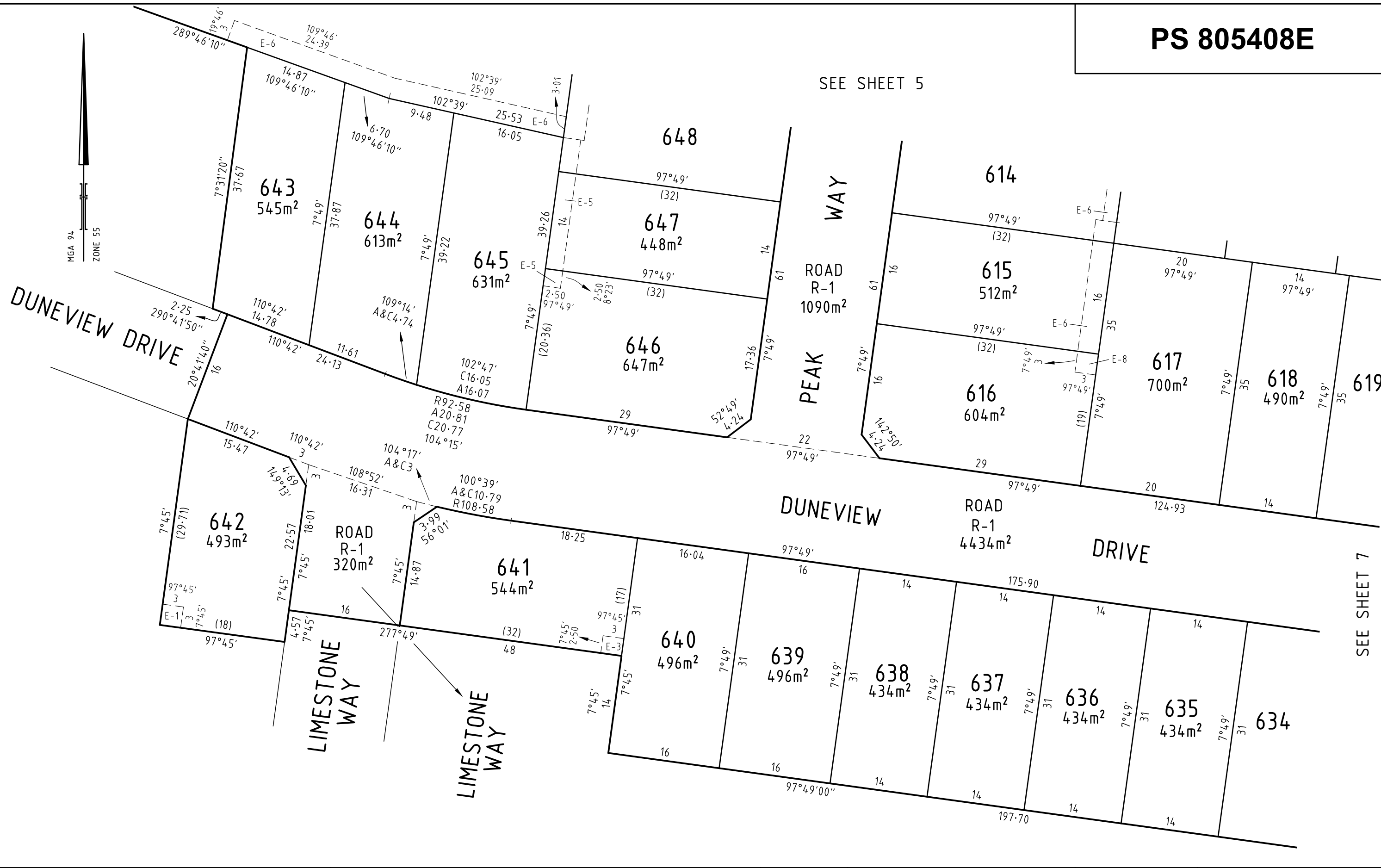
SHEET 6

Licensed Surveyor: Lyall Murray Timms
Ref: 305092SV00
Version: 18

SEE SHEET 6

SEE SHEET 8





CREATION OF RESTRICTION No.1

The following Restriction is to be created on the registration of this plan in accordance with the Table below:

Condition	Burdened Land	Benefited Land
The burdened land cannot be used except in accordance with Restriction A1 in MCP AA8912	Lots 601 to 616 (all inclusive), Lots 618 to 645 (all inclusive) and Lots 647 to 658 (all inclusive) on this plan	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A2 in MCP AA8912	Lots 601 to 616 (all inclusive), Lots 618 to 626 (all inclusive), Lots 629 to 645 (all inclusive) and Lot 647 to 658 (all inclusive) on this plan.	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A3 in MCP AA8912	Lots 627 and 628 on this plan	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A4 in MCP AA8912	Lots 617 and 646 on this plan	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A5 in MCP AA8912	Nil	Nil
The burdened land cannot be used except in accordance with Restriction A6 in MCP AA8912	Lots 601 and 658 (all inclusive) on this plan	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A7 in MCP AA8912	Lots 601 to 658 (all inclusive) on this plan	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A8 in MCP AA8912	Lots 601 to 616 (all inclusive), Lots 618 to 626 (all inclusive), Lots 629 to 645 (all inclusive) and Lot 647 to 658 (all inclusive) on this plan.	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A9 in MCP AA8912	Lots 617 and 646	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A10 in MCP AA8912	Lots 627 and 628	Lots 601 to 658 (all inclusive) on this plan.
The burdened land cannot be used except in accordance with Restriction A11 in MCP AA8912	Nil	Nil
The burdened land cannot be used except in accordance with Restriction A12 in MCP AA8912	Lots 613, 616, 641, 642, 646, 649, 655 and 658 on this plan	Lots 601 to 658 (all inclusive) on this plan.

CREATION OF RESTRICTION No. 2

Upon registration of this plan the following restriction is created:

Land to Benefit: Lots 601 to 656 (all inclusive) on this plan

Land to be Burdened: Lots 601 to 616 (all inclusive), Lots 618 to 645 (all inclusive) and Lots 647 to 657 (all inclusive) on this plan.

Description of Restriction:

The registered proprietor or proprietors for the time being of a burdened lot must not:

1. Build or permit to be built any building(s) that does not provide 1.0 metre clear horizontal access along the full length of a minimum one side boundary of the lot.

Memorandum of common provisions
Restrictive covenants in a plan
Section 91A Transfer of Land Act 1958

AA8912

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Lodged by	
Name:	Mast Lawyers
Phone:	03 5210 8012
Address:	Suite 1, 33 Mackey Street, North Geelong 3125
Reference:	SM:200979 (stage 6)
Customer code:	22373H

This memorandum contains provisions which are intended for inclusion in plans under the Subdivision Act 1988 to be subsequently lodged for registration.

Operative words including words to bind the burdened land and words of annexation must not be included.

Provisions to apply to the plan:

Burdened land: As set out in the plan.

Benefited land: As set out in the plan.

35402012

V3

1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in plans.

91ATLA

Page 1 of 5

THE BACK OF THIS FORM MUST NOT BE USED

Land Use Victoria contact details: see www.delwp.vic.gov.au/property>Contact us

Memorandum of common provisions Section 91A Transfer of Land Act 1958

AA8912

Covenants:

DEFINITIONS

In this memorandum, unless the context otherwise requires:

Building means any permanent or semi-permanent structure on a lot and includes a dwelling.

Building Design Guidelines means the *Kingston Coast Building Information & Design Guidelines* as revised from time to time by the Design Assessment Panel. A copy of the current version can be obtained from the Design Assessment Panel.

Burdened land means a lot identified in the Plan as burdened by a restriction described in this MCP.

Corner Lot means a lot:

- contiguous with:
 - two intersecting streets; or
 - a street whose curvature provides the characteristics of a corner allotment; or
- deemed by the Design Assessment Panel to be a corner lot.

Design Assessment Panel means the Kingston Coast Design Assessment Panel described in the Building Design Guidelines.

Dwelling has the same meaning as set out in the Land Use Terms of the planning scheme that applies to the land in the Plan but excluding outbuildings, carport/garage, outdoor rooms/alfresco, porches, and verandas.

ground level is deemed to be the finished surface level following completion of engineering works associated with the subdivision.

Lifestyle Lot means a Lot with a land area of 800 m² or greater on the Plan, with a minimum dwelling size of no less than 200 m².

Lot has the same meaning as in the *Subdivision Act 1988* (Vic), being a lot created by the Plan and if permitted, includes any lot created by further subdivision

Multi dwelling site means Lots 617 and 646 on the Plan.

MCP means this Memorandum of Common Provisions.

Plan means plan of subdivision PS805408E.

Primary frontage means for each Lot, unless otherwise determined by the Design Assessment Panel or specifically stipulated in this MCP, the shortest boundary of that lot which abuts a street.

Public land means any land under the care or management of a Public Land Manager as that expression is defined in the General Terms of the planning scheme that applies to the land in the Plan.

Rear boundary means the Lot boundary which is opposite the Primary frontage, or the appropriate Lot boundary as determined by the Design Assessment Panel.

Residential Lot means a Lot with a land area between 381 m² and 799 m² on the Plan, with a minimum dwelling size of no less than 135 m².

Secondary frontage means the boundary of a Lot (other than the Primary frontage) which abuts a street.

Setback means the required distance between the relevant boundary and the building line as outlined in the Building Design Guidelines, unless otherwise noted in this MCP. A setback of up to 150 millimetres from the lot boundary is deemed to be on the boundary.

Memorandum of common provisions

Section 91A Transfer of Land Act 1958

AA8912

Side boundary means the boundary of a Lot connecting the Primary frontage to the rear boundary. Where that Lot is a Corner Lot, the side boundary includes the boundary along the Secondary frontage.

Townhouse Lot means any Lot with a land area of 380 m² or less on the Plan, with a minimum dwelling size of no less than 115 m².

COVENANTS:

Restriction A1 – Development of a Lot

The registered proprietor or proprietors for the time being of the burdened land must not:

1. further subdivide the lot; and
2. construct more than one dwelling on any single lot.

Restriction A2 – Minimum dwelling floor area – Residential Lot

The registered proprietor or proprietors for the time being of the burdened land must not construct on any single lot a dwelling with a floor area less than 135 m².

Restriction A3 – Minimum dwelling floor area – Townhouse Lot

The registered proprietor or proprietors for the time being of the burdened land must not construct on any single lot a dwelling with a floor area less than 115 m².

Restriction A4 – Minimum dwelling floor area – subdivided Multi dwelling sites

The registered proprietor or proprietors for the time being of the burdened land must not construct:

3. on the burdened land, a dwelling with a floor area less than 135 m²;
4. on any Lot created by subdivision of the burdened land, a dwelling with a floor area less than 115 m².

Restriction A5 – Minimum dwelling floor area – Lifestyle Lot

This Restriction A5 is omitted from this MCP.

Restriction A6 – Compliance with Building Design Guidelines

1. The registered proprietor or proprietors for the time being of the burdened land must not:
 - 1.1. construct or allow to be constructed or allow to remain on any lot any Building:
 - 1.1.1. that is not in accordance with the Building Design Guidelines unless otherwise approved by the Design Assessment Panel;
 - 1.1.2. without obtaining written approval of the design for that Building from the Design Assessment Panel, which approval must be obtained even if the design for that Building complies with the Building Design Guidelines; and
 - 1.1.3. any building which is more than 9 metres above the ground level (excluding any television antenna, chimney or flue) or an extension to a dwelling where the extension is more than 9 metre above ground level (excluding any television antenna, chimney or flue).
 - 1.2. construct or allow to be constructed:
 - 1.2.1. a dwelling unless 30% of the external walls excluding windows are constructed of brick, brick veneer, stone, render or masonry like material;

Memorandum of common provisions

Section 91A Transfer of Land Act 1958

AA8912

- 1.2.2. the roof of any building, garage door or outbuilding of galvanised iron or other reflective material; and
 - 1.2.3. a driveway unless constructed of coloured concrete, exposed aggregate concrete, stencilled or stamped coloured concrete or brick pavers.
- 1.3. store or site or permit to be stored or sited on any lot any caravan or boat or any commercial vehicle having a registered carrying capacity of more than one tonne unless within an approved building or screened from view from any road reserve by a structure that is in line with or behind the most forward line of the building abutting any road reserve.
- 1.4. occupy any dwelling without a driveway and fences on the side and rear boundaries.
- 2. The Design Assessment Panel in its absolute discretion may approve a dwelling that does not strictly comply with clause 1.2.1 of this Restriction A6.

Restriction A7 – Boundary Fencing

The registered proprietor or proprietors for the time being of the burdened land must not:

- 1. construct or allow to be constructed any fencing:
 - 1.1. along a primary frontage; or
 - 1.2. on a side or rear boundary of a lot unless the fence:
 - 1.2.1. is constructed of lapped timber palings with a timber capping;
 - 1.2.2. subject to clause 1.2.3, is a height not less than 1.8 metres and not greater than 2.0 metres;
 - 1.2.3. tapers down to 1 metre in height at the primary frontage for the distance of the required setback from the primary frontage; and
 - 1.2.4. is built on the boundary and within acceptable tolerances as prescribed by Victorian law.
 - 1.3. on the side boundary of a Corner Lot unless the fence commences a minimum of 10 metres back from the primary frontage;
 - 1.4. on a side or rear boundary of a lot abutting public land unless the fence:
 - 1.4.1. is visually permeable on the boundary abutting the public land; and
 - 1.4.2. maximises passive surveillance of the public land both at ground level and upper level/s as appropriate.
- 2. occupy any dwelling on a lot without a driveway and fences on the side and rear boundaries

Restriction A8 – Residential Lot setbacks

- 1. The registered proprietor or proprietors for the time being of the burdened land must not construct or allow to be constructed a building (excluding any entry porch, verandah, balcony or pergola) on the burdened land unless the building line facing the primary frontage is sited at least 4.5 metres but no more than 6.5 metres from the primary frontage.
- 2. The Design Assessment Panel may in its sole discretion approve a dwelling that does not comply with this Restriction A8.

Memorandum of common provisions Section 91A Transfer of Land Act 1958

AA8912

Restriction A9 – Multi dwelling site setbacks

1. The registered proprietor or proprietors for the time being of any Lot derived from a subdivision the burdened land must not:
 - 1.1. construct or allow to be constructed a building (excluding any entry porch, verandah, balcony or pergola) on any lot derived from the further subdivision of the burdened land unless the building line facing the primary frontage is setback at least 3.5 metres but no more than 6.5 metres from the primary frontage.
 - 1.2. A garage unless the garage is set back a minimum of 4.0 metres from the primary frontage.
2. The Design Assessment Panel may in its sole discretion approve a dwelling that does not comply with this Restriction A9.

Restriction A10 – Townhouse Lot setbacks

1. The registered proprietor or proprietors for the time being of the burdened land must not construct or allow to be constructed:
 - 1.1. a building (excluding any entry porch, verandah, balcony or pergola) on the lot unless the building line facing the primary frontage is sited at least 3.0 metres but no more than 6.5 metres from the primary frontage;
 - 1.2. a garage unless the garage is set back a minimum of 4.0 metres from the primary frontage.
2. The Design Assessment Panel may in its sole discretion approve a dwelling that does not comply with this Restriction A10.

Restriction A11 – Lifestyle Lot setbacks

This Restriction A11 is omitted from this MCP

Restriction A12 – Corner Lot setbacks

1. The registered proprietor or proprietors for the time being of the burdened land must not construct or allow to be constructed a building (excluding any entry porch, verandah, balcony or pergola) unless the secondary frontage is setback at least 2.0 metres from the side boundary.
2. The Design Assessment Panel may in its sole discretion approve a dwelling that does not comply with this Restriction A12.

Expiry:

Restrictions A1, A2, A3, A4, A5, A8, A9, A10 and A12 will cease to have effect on 1 January 2042.

Restrictions A6 and A7 will cease to have effect on 1 January 2032.

Kingston Coast Estate - Stage 6

Ocean Grove



LOCALITY PLAN
SCALE @ A1 - 1 : 5,000

NOTES:

- ALL WORKS IN THIS CONTRACT ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF GEELONG (COGG) STANDARD SPECIFICATIONS FOR ROADWORKS AND DRAINAGE.
- ALL ROADWORKS SIGNAGE IS TO BE IN ACCORDANCE WITH VICROADS WORKSITE TRAFFIC MANAGEMENT CODE OF PRACTISE INCORPORATING AS1742.3.
- ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE APPROVED CONSTRUCTION MANAGEMENT PLAN.
- ALL TREES, SHRUB etc. ARE TO BE RETAINED UNLESS OTHERWISE INDICATED.
- DURING THE CONSTRUCTION AND MAINTENANCE PERIOD SILT FENCES ARE TO BE PLACED DOWNSTREAM OF ALL EXPOSED AREAS, AND SILT BARRIERS ARE TO BE PLACED UPSTREAM OF ALL PITS. THE SILT FENCES AND SILT BARRIERS ARE TO BE CHECKED AND MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD.
- ALL AREAS OF THE SUBDIVISION EXPOSED OF VEGETATION, INCLUDING NATURESTRIPS, LOTS AND RESERVE ARE TO BE FULLY GRASSED BY HYDRO MULCHING, WATERED AND MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD.

GENERAL :

- THE CONTRACTOR SHALL:
 - 48 HOURS NOTICE IN WRITING TO COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORKS.
 - NOTIFY COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE 24 HOURS PRIOR TO WORKING ON ANY WEEKEND.
 - BE FULLY AWARE OF ALL SITE CONDITIONS PRIOR TO TENDERING.
 - BE RESPONSIBLE FOR LOCATING ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE SERVICES.
 - BE RESPONSIBLE FOR THE INSTALLATION OF ALL SERVICES REQUIRED FOR THE PROJECT.
 - ENSURE THAT ALL SERVICES ARE INSTALLED TO THE SPECIFIED OFFSETS AND MEETS MINIMUM COVER REQUIREMENTS. ALL SURFACE FIXTURES, PITS VALVES, FIREPLUGS, etc. SHALL BE INSTALLED A MINIMUM OF 5m FROM ANY SIDE BOUNDARY AND SHALL MATCH THE REQUIRED FINISHED SURFACE LEVEL. THIS APPLIES TO ALL SERVICES REQUIRED FOR THE PROJECT IRRESPECTIVE IF THEY ARE INSTALLED BY THE CONTRACTOR OR OTHERWISE.
 - COMPLY WITH THE REQUIREMENTS OF THE MINES ACT 1958 AND RELEVANT REGULATIONS INCLUDING NOTIFICATION IN WRITING (CLAUSE 385) TO THE CHIEF MINING INSPECTOR OF THE INTENTION TO COMMENCE EXCAVATION OPERATIONS WHERE ANY TRENCH IS 15m OR MORE IN DEPTH.
 - GIVE 24 HOURS NOTICE TO COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE PRIOR TO BACKFILLING OF ANY PIPE TRENCHES OR LAYING OF ANY PAVEMENT OR CONCRETE WORKS SO THAT THE WORKS CAN BE CHECKED AND APPROVED.
 - COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY (CONFIED SPACES) REGULATIONS AND CODE OF PRACTICE FOR 'CONFINED SPACES'.
 - BE RESPONSIBLE FOR THE COMPACTION TESTING OF THE PAVEMENT MATERIAL BY AN APPROVED GEOTECHNICAL CONSULTANT AS AND WHEN DIRECTED BY COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.
- EXISTING CONSTRUCTION WORKS ARE TO BE CHECKED BY COUNCIL 48hrs PRIOR TO COMMENCEMENT OF ANY FUTURE PAVEMENT WORKS. IF REMEDIAL WORKS ARE NECESSARY TO ENSURE SATISFACTORY CONNECTION, THESE ARE TO BE CARRIED OUT AT THE DEVELOPER'S EXPENSE. AT THE SAME INSPECTION DAMAGE TO EXISTING WORKS WILL BE DETERMINED, OTHERWISE THE CONTRACTOR WILL BE HELD LIABLE.
- ANY WORKS WITHIN ROADWAYS SHALL SATISFY COUNCIL'S "REQUIREMENTS FOR OCCUPANCY OF ROAD RESERVE". CONTACT COGG TRAFFIC MANAGEMENT OFFICER ON TELEPHONE (03) 5227 0384 FOR FURTHER SPECIFIC DETAILS RELATING TO THIS PROJECT. A COPY OF THE TRAFFIC MANAGEMENT PLAN IS TO BE FORWARDED TO THE COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE PRIOR TO WORKS COMMENCING.
- ALL REASONABLE CARE SHALL BE TAKEN BY THE CONTRACTOR TO PRESERVE THE SURVEY PEGS AND ALL BENCHMARKS ARE TO BE CHECKED PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY.
- EXISTING SURFACE LEVELS ARE SHOWN THUS:
- ALL DIMENSIONS ARE IN METRES AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD).

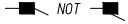

ROADWORKS :


- SUBSOIL DRAINS ARE TO BE CONSTRUCTED BEHIND THE KERB AND CHANNEL OR AS DIRECTED BY THE COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.
- WHERE DRAINAGE LINES EXIST BEHIND THE KERB AND CHANNEL SUBSOIL DRAINAGE IS NOT REQUIRED HOWEVER A 1m LENGTH OF SUBSOIL DRAIN INCLUDING FILTER SOCK IS REQUIRED BOTH SIDES OF DRAINAGE PITS.
- ALL FOOTPATHS ARE TO BE A MINIMUM OF 125mm THICK WITH F72 REINFORCEMENT AND BEDDED ON A MINIMUM OF 50mm COMPACTED CLASS 3 FCR WITH THE BEDDING TO EXTEND 100mm BEYOND THE EDGES OF THE PROPOSED FOOTPATH PRIOR TO THE PLACEMENT OF THE TIMBERS AND BOARDS. CONTRACTION JOINTS ARE TO BE CONSTRUCTED AT 12.5m INTERVALS IN

ACCORDANCE WITH COGG STANDARD DRAWINGS.

- WHERE FILLING IS REQUIRED UNDER THE FOOTPATH BEDDING MATERIAL THEN CLASS 4 FCR IS TO BE USED UNLESS OTHERWISE APPROVED BY THE COGG SUBDIVISIONS ENGINEER.
- CONCRETE FOR KERB AND CHANNEL USED IN EXTRUSION MACHINES SHALL HAVE A MINIMUM CEMENT CONTENT OF 280 kg/m³.
- CONCRETE FOR STORMWATER PITS IS TO HAVE A MINIMUM STRENGTH OF 32Mpa AT 28 DAYS.
- CONCRETE FOR ALL OTHER APPLICATIONS IS TO HAVE A MINIMUM STRENGTH OF 25Mpa AT 28 DAYS.
- TO ALLOW FOR A CONTINUOUS CONCRETE KERB AND CHANNEL POUR THE STORMWATER PIT CONCRETE SURROUND IS TO BE IN PLACE PRIOR TO THE POUR COMMENCING. IF THE PIT SURROUNDS ARE NOT IN PLACE THEN THE INITIAL KERB AND CHANNEL POUR IS TO STOP ONE (1) METRE EITHER SIDE OF EVERY PIT.
- CLAY SURFACES, INCLUDING NATURE STRIPS, EXPOSED DUE TO CUT AND FILL ARE TO BE COVERED WITH 100mm OF THE BEST APPROVED TOPSOIL MATERIAL AVAILABLE FROM SITE.
- ALL FILLING PLACED IS TO BE CARRIED OUT UNDER LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-2007. PRIOR TO ANY FILLING ON LOTS ALL TOPSOIL IS TO BE REMOVED AND STOCKPILED. THE FILL MUST BE APPROVED AND CONSOLIDATED IN 150mm COMPACTED LAYERS TO A DRY DENSITY OF 98% STANDARD COMPACTION. THE TOPSOIL IS THEN TO BE UNIFORMLY REPLACED TO A COMPACTED DEPTH OF 100mm. COMPACTION TESTING WILL BE REQUIRED AT THE DISCRETION OF THE COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.
- ALLOTMENTS SHALL BE GRADED TO AN EVEN SURFACE AT THE COMPLETION OF ALL WORKS AND SHALL HAVE A MINIMUM GRADE OF 1 IN 100 TO THEIR NOMINATED DRAINAGE CONNECTION POINTS. ALL SURPLUS SPOIL, BOXTHORN, FENCING, CONSTRUCTION WASTE AND OTHER RUBBISH SHALL BE REMOVED FROM SITE AT THE COMPLETION OF WORKS.
- BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 5 FOR FILL AND 1 IN 3 FOR CUT UNLESS OTHERWISE SHOWN.
- AS PART OF CIVIL WORKS, ROUNDED-TOPPED TREATED PINE BOLLARDS (0.6m HIGH) ARE TO BE PLACED ACROSS THE FRONTAGE OF RESERVE 1 AT 15m CENTRES WITH A LOCKED/REMOVABLE BOLLARD CENTRAL TO THE PATH FOR MAINTENANCE ACCESS (REFER TO COUNCIL STANDARD DRAWING CGG701).
- STREET SIGNS ARE TO BE LOCATED AS INDICATED ON THE PLANS AND INSTALLED IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2. MOUNTING HEIGHT IS TO BE TO THE UNDERSIDE OF THE SIGN AND IS TO BE A MINIMUM OF 2.1m AND MAXIMUM OF 3.0m.
- 'NO THROUGH ROAD' SIGN IS TO BE INSTALLED BELOW THE STREET SIGN WHERE APPLICABLE.
- ALL REINFORCEMENT USED IN CONCRETE WORKS FOR FOOTPATH DRIVEWAYS AND ROADS IS TO BE ADEQUATELY SUPPORTED BY APPROPRIATE SIZED BAR CHAIRS PRIOR TO THE POURING/PLACEMENT OF CONCRETE.
- GAS CONDUITS ARE 50mm HEAVY DUTY PVC AND ARE TO EXTEND FROM THE POINT OF SUPPLY TO AT LEAST 500mm BEYOND THE PROPERTY BOUNDARY.
- AT THE TERMINATION OF STAGED PAVEMENT CONSTRUCTION, A CONCRETE EDGE STRIP 200mm X 200mm AND SUBSOIL DRAIN IS TO BE INSTALLED ACROSS THE WIDTH OF THE PAVEMENT AND A 'NO THROUGH ROAD' AND CHEVRON MARKER SIGNS ARE TO BE INSTALLED ACROSS THE FULL WIDTH OF THE ROAD RESERVE. APPROPRIATE RETAINING WALLS AND FENCING IS TO BE PROVIDED AS DIRECTED BY COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.
- WHERE LINE MARKING NEEDS TO BE REMOVED, THESE LINES ARE TO BE PERMANENTLY REMOVED EITHER BY GRINDING THE OLD LINES OFF OR BY PLACING A SEAL AND GRIT TREATMENT (USING THE 'FLOCON' SYSTEM) OVER THE UNWANTED LINES.
- LOT NUMBERS SHALL BE STENCILLED IN 50mm HIGH FIGURES WITH WHITE PAINT ON THE FACE OF THE KERB AND CHANNEL.

DRAINAGE :

- PIPE DRAINAGE WITHIN ROADWAYS TO BE REINFORCED CONCRETE PIPES - CLASS 2 UNLESS OTHERWISE SHOWN
- ALL REINFORCED CONCRETE PIPES ARE TO BE RUBBER RING JOINTED.
- PIPES IN EASEMENTS ARE TO BE RUBBER RING JOINTED OR UPVC SEWER CLASS 1SH UPVC UP TO 3.0m DEPTH OR SEH UPVC GREATER THAN 3.0m DEPTH PIPES WITH SOLVENT CEMENT JOINTS. TRENCHES ARE TO BE BACKFILLED WITH COMPACTED CLAY UNLESS OTHERWISE SHOWN.
- ALL DRAINAGE PITS IN COUNCIL ROAD RESERVES, DRAINAGE RESERVES AND RECREATION RESERVES ARE TO HAVE LIDS THAT ARE, AT LEAST CLASS D (HEAVY DUTY) IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3996.
- ALL PITS ARE TO BE SET OUT FROM SURVEY CO-ORDINATES USING SET OUT POINTS DETAILED IN THE COGG STANDARD DRAWINGS.
- ALL PIPES UNDER ROADS, FOOTPATHS, DRIVEWAYS AND BEHIND BACK OF KERB SHALL BE BACKFILLED WITH 20mm NOMINAL SIZE CLASS 3 FCR (WETMX) COMPACTED TO 95% MODIFIED COMPACTION IN 150mm MAXIMUM LAYERS.
- PIPE BEDDING UNDER ROAD PAVEMENTS FROM THE BOTTOM OF PIPE TO THE SPRINGLINE IS TO BE 2% STABILIZED SAND. CLASS 3 FCR IS TO BE PLACED FROM THE SPRINGLINE TO SUBBASE MATERIAL.
- PIPEWORK AT ALL PITS TO BE WELL ALIGNED TO ENSURE FLOW IS GUIDED TO OUTLET PIPE eg.  NOT 
- ALL PIPELINES ARE TO BE INSPECTED VIA REMOTE CAMERA PRIOR TO THE ISSUANCE OF A STATEMENT OF COMPLIANCE AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.

- PROPERTY INLET PITS ARE SHOWN THUS:  AND ARE TO BE LOCATED 1m FROM THE LOW CORNER UNLESS OTHERWISE SHOWN.
- LOTS DENOTED THUS: 340^H ARE TO BE PROVIDED WITH A 100mm DIAMETER CLASS 6 PVC SOCKETED PIPE HOUSE DRAIN LOCATED 6.0m FROM THE LOW CORNER OF THE LOT UNLESS OTHERWISE SHOWN AND SHALL BE CONNECTED DIRECTLY TO UNDERGROUND DRAINS WHERE AVAILABLE.
- HOUSE DRAINS ARE TO BE A MINIMUM OF 0.5m BELOW FINISHED SURFACE AT THE LOT BOUNDARY UNLESS OTHERWISE SHOWN.
- EASEMENT DRAIN CONNECTION TO BE A MINIMUM OF 0.5m BELOW FINISHED SURFACE UNLESS OTHERWISE SHOWN.
- WHEN USING 150mm DIAMETER UPVC PIPES ALL HOUSE DRAINS ARE TO BE CONNECTED USING STANDARD T-PIECE FITTINGS.
- WHEN USING 225mm DIAMETER OR LARGER UPVC PIPES, HOUSE DRAINS ARE TO BE CONNECTED IN A SIMILAR WAY TO CONCRETE PIPES SUBJECT TO THE INLET BEING CORE DRILLED.
- WATER AND GAS SERVICE CONDUITS SHALL BE LOCATED CLEAT OF ALL DRIVEWAY CROSSINGS AND SHALL EXTEND FROM THE POINT OF SUPPLY TO AT LEAST 500mm INSIDE THE HOUSE LOT TO BE SERVICED AND LEFT EXPOSED UNTIL INSPECTED BY COGG SUBDIVISIONS ENGINEER. WATER CONDUITS ARE TO BE LOCATED AT LEAST 5m FROM SIDE BOUNDARY, WHEREAS GAS CONDUITS ARE TO BE LOCATED 2m FROM "NON-DRIVEWAY" SIDE BOUNDARY OF LOT TO BE SERVICED. CONDUIT TRENCHES ARE TO BE BACKFILLED WITH CLASS 3 FCR.
- THE LOCATION OF HOUSE DRAINS (H) AND SERVICE CONDUITS (W ,G, T AND E) ARE TO BE NEATLY ETCHED ON THE KERB FACE WITH 50mm HIGH LETTERS.
- IN ROAD RESERVE EXISTING OPEN DRAINS ARE TO BE CLEANED OUT TO AND APPROVED BASE AND ANY SPOIL IS TO BE REMOVED FROM THE SITE. STRUCTURAL FILL (CLASS 4 MINIMUM) IS TO BE PLACED IN NOT MORE THAN 150mm LAYERS AND COMPACTED TO A MINIMUM OF 98% STANDARD COMPACTION. COMPACTION TESTS ARE TO BE PROVIDED TO THE SATISFACTION OF COGG SUBDIVISIONS ENGINEER OR REPRESENTATIVE.
- WHERE DRAINAGE PITS ARE LESS THAN 1800mm DEEP NO HAUNCHING IS REQUIRED (REFER TO SD00302). WHERE DRAINAGE PITS ARE GREATER THAN 1800mm DEEP THEY WILL REQUIRE HAUNCHING TO FORM 900mm MIN WIDE BASE (REFER SD00301). IN THIS INSTANCE PARTICULAR NOTE OF WALL THICKNESSES IS TO BE MADE AND ADHERED TO.
- ALL SEWER MANHOLES LOCATED WITHIN FOOTPATHS ARE TO BE POSITIONED AND ROTATED SO THAT THEY ARE PLACED CENTRALLY WITHIN THE FOOTPATH TO PREVENT CRACKING.
- ALL DRAINAGE PITS ARE TO BE FITTED WITH TERRA-FIRMA PIT LIDS.

GREATER GEELONG CITY COUNCIL PLANNING ENVIRONMENT ACT 1987 GREATER GEELONG PLANNING SCHEME

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Approved By Angelica Kirtley
Approved Date 19/01/2023


NOTE: THIS IS NOT A BUILDING APPROVAL

SHEET INDEX

SHEET No.	VERSION No.	DESCRIPTION
1	C	GENERAL NOTES.
2	C	FACEPLAN AND SERVICES SCHEDULE.
3	C	COASTAL BOULEVARD LONGITUDINAL SECTION (CH-149.88-CH282.94).
4	C	COASTAL BOULEVARD LONGITUDINAL SECTION (CH282.94-CH289.32).
5	C	COASTAL BOULEVARD CROSS SECTIONS (CH00.00-CH142.22).
6	C	COASTAL BOULEVARD CROSS SECTIONS (CH160.00-CH289.32).
7	C	DUNEVIEW DRIVE LONGITUDINAL SECTION.
8	C	DUNEVIEW DRIVE CROSS SECTIONS (CH100.00-CH139.06).
9	C	DUNEVIEW DRIVE CROSS SECTIONS (CH160.75-CH277.28).
10	C	LIMESTONE WAY LONGITUDINAL SECTION & CROSS SECTIONS.

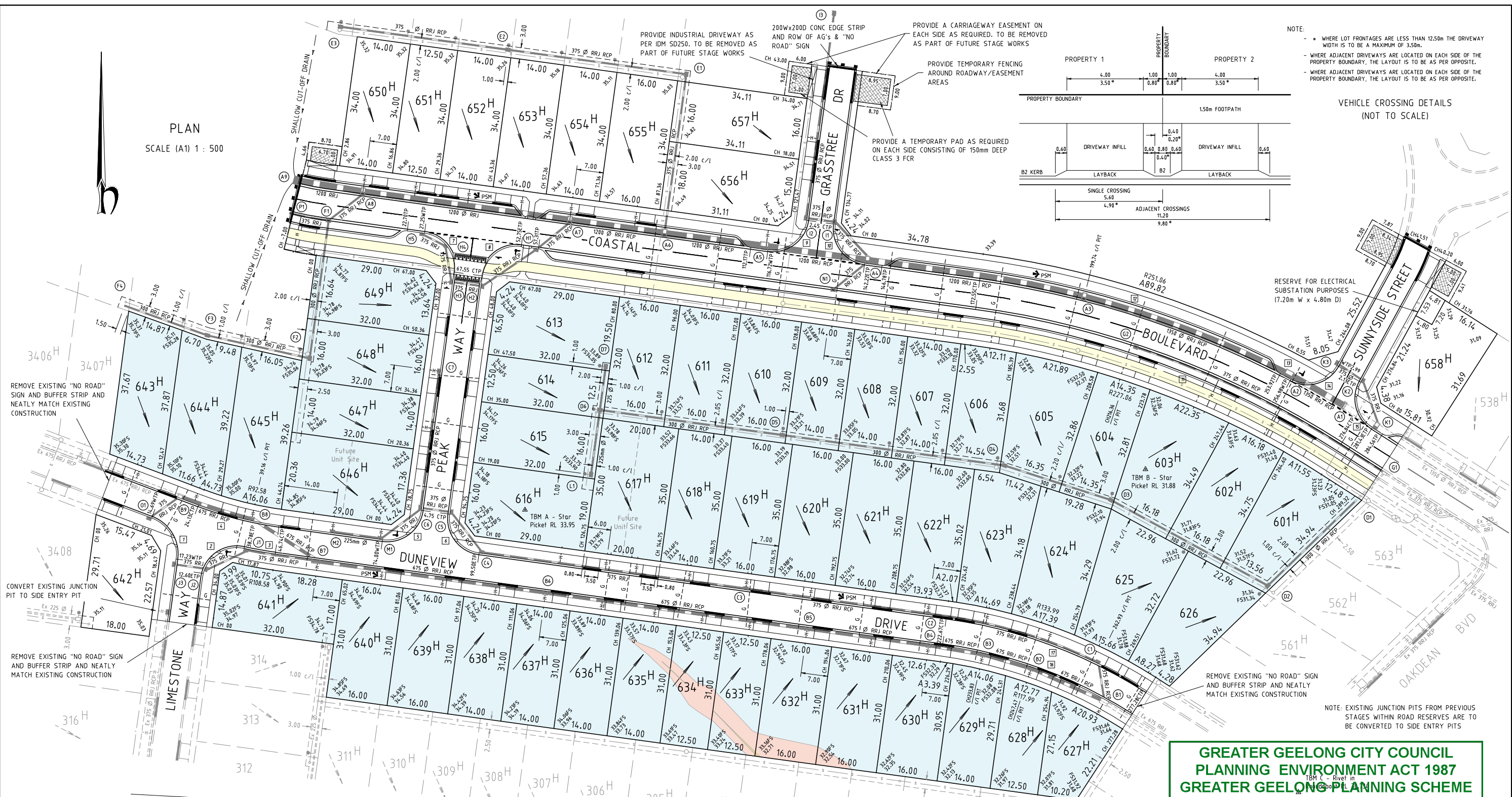
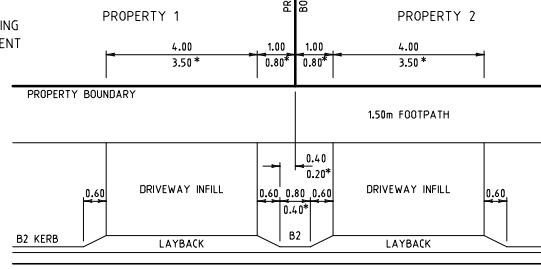
SHEET No.	VERSION No.	DESCRIPTION
11	C	PEAK WAY LONGITUDINAL SECTION & CROSS SECTIONS.
12	C	GRASSTREE DRIVE LONGITUDINAL SECTION & CROSS SECTIONS.
13	C	SUNNYSIDE STREET LONGITUDINAL SECTION & CROSS SECTIONS.
14	C	COASTAL BOULEVARD/PEAK WAY INTERSECTION DETAIL - (1:125)
15	C	COASTAL BOULEVARD/GRASSTREE DRIVE INTERSECTION DETAIL - (1:125)
16	C	COASTAL BOULEVARD/SUNNYSIDE STREET INTERSECTION DETAIL - (1:125)
17	C	DUNEVIEW DRIVE/PEAK WAY INTERSECTION DETAIL - (1:125)
18	C	LIMESTONE WAY/DUNEVIEW DRIVE INTERSECTION DETAIL - (1:125)
19	C	DRAINAGE LONGITUDINAL SECTION ('A' LINE).
20	C	DRAINAGE LONGITUDINAL SECTION ('B' LINE).

SHEET No.	VERSION No.	DESCRIPTION
21	C	DRAINAGE LONGITUDINAL SECTION ('C' LINE).
22	C	DRAINAGE LONGITUDINAL SECTION ('D' LINE).
23	C	DRAINAGE LONGITUDINAL SECTIONS ('E' & 'F' LINES).
24	C	DRAINAGE LONGITUDINAL SECTIONS ('G', 'H' & 'I' LINES).
25	C	DRAINAGE LONGITUDINAL SECTIONS ('J'-P' LINES) INCLUSIVE.
26	C	DRAINAGE PIT & SETOUT SCHEDULES
27	C	STREET SIGNAGE PLAN
28	C	STREET SIGNAGE PLAN
29	C	STREET SIGNAGE PLAN
30	C	PLAN OF SUBDIVISION

AMENDMENTS			 Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY
18.01.23	VERSION C	SURVEYED	GREATER GEELONG					
DATE	DESCRIPTION	DESIGNED P.J.B	REFERENCE					
A1			DRAWN C.S.					1503 ^E / ₆
			CHECKED					SCALE AS SHOWN

PLAN
SCALE (A1) 1 : 500

NOTE:
- * WHERE LOT FRONTAGES ARE LESS THAN 12.50m THE DRIVEWAY WIDTH IS TO BE A MAXIMUM OF 3.50m.
- WHERE ADJACENT DRIVEWAYS ARE LOCATED ON EACH SIDE OF THE PROPERTY BOUNDARY, THE LAYOUT IS TO BE AS PER OPPOSITE.
- WHERE ADJACENT DRIVEWAYS ARE LOCATED ON EACH SIDE OF THE PROPERTY BOUNDARY, THE LAYOUT IS TO BE AS PER OPPOSITE.



**GREATER GEELONG CITY COUNCIL
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GREATER GEELONG PLANNING SCHEME**

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SERVICES LOCATION SCHEDULE

STREET NAME	TELECOM	GAS	WATER	ELECTRICITY	KERB
COASTAL BOULEVARD	1.90 S	2.10 N	2.70 N	2.60 S	VARIABLE
DUNEVIEW DR (W OF PEAK WAY)	1.90 S	2.10 N	2.70 N	2.50 S	4.25
DUNEVIEW DR (E OF PEAK WAY)	1.90 N	2.10 S	2.70 S	2.50 N	4.25
LIMESTONE WAY	1.90 E	2.10 W	2.70 W	2.50 E	4.25
PEAK WAY	1.90 E	2.10 W	2.70 W	2.50 E	4.25
GRASSTREE DRIVE	0.50 E	2.10 W	2.70 W	1.20 E	4.25W/1.55E
SUNNYSIDE STREET	0.50 W	2.10 E	2.70 E	1.20 W	4.25E/1.55W

SURVEY MARKS AND LOCATIONS

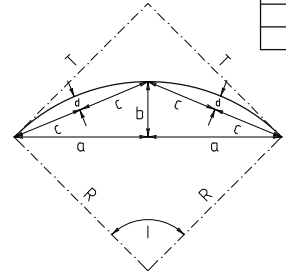
DESCRIPTION	EASTING	NORTHING	ELEVATION
TBM 'A' STAR PICKET - LOT 616	1991.29	888.43	33.95
TBM 'B' STAR PICKET - LOT 603	2153.35	899.02	31.88
TBM 'C' RIVET IN ROUNDABOUT - OAKDEAN BVD	2193.33	814.67	30.734

CURVE SETOUT TABLE

CURVE	RADIUS (m)	I	T	ARC	a	b	c	d
11	234.00	24°50'02"	51.52	101.422	50.315	5.474	25.386	1.372
12	247.10	18°16'15"	39.735	78.796	39.231	3.134	19.678	0.785
16	122.25	24°50'02"	26.915	52.985	26.286	2.859	13.22	0.717
17	129.75	24°50'02"	28.567	56.236	27.899	3.035	14.032	0.761

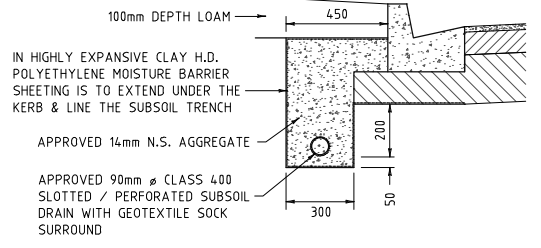
NOTE: ALL CURVE RADII LABELLED THIS - 1 ARE TO BACK OF KERB (REFER TO DETAIL SHEETS FOR INTERSECTIONS)

CURVE SETOUT DETAIL
(NOT TO SCALE)



DEPTH OF FILL

NIL - 0.30
0.30 - 0.60
0.60 - 0.90

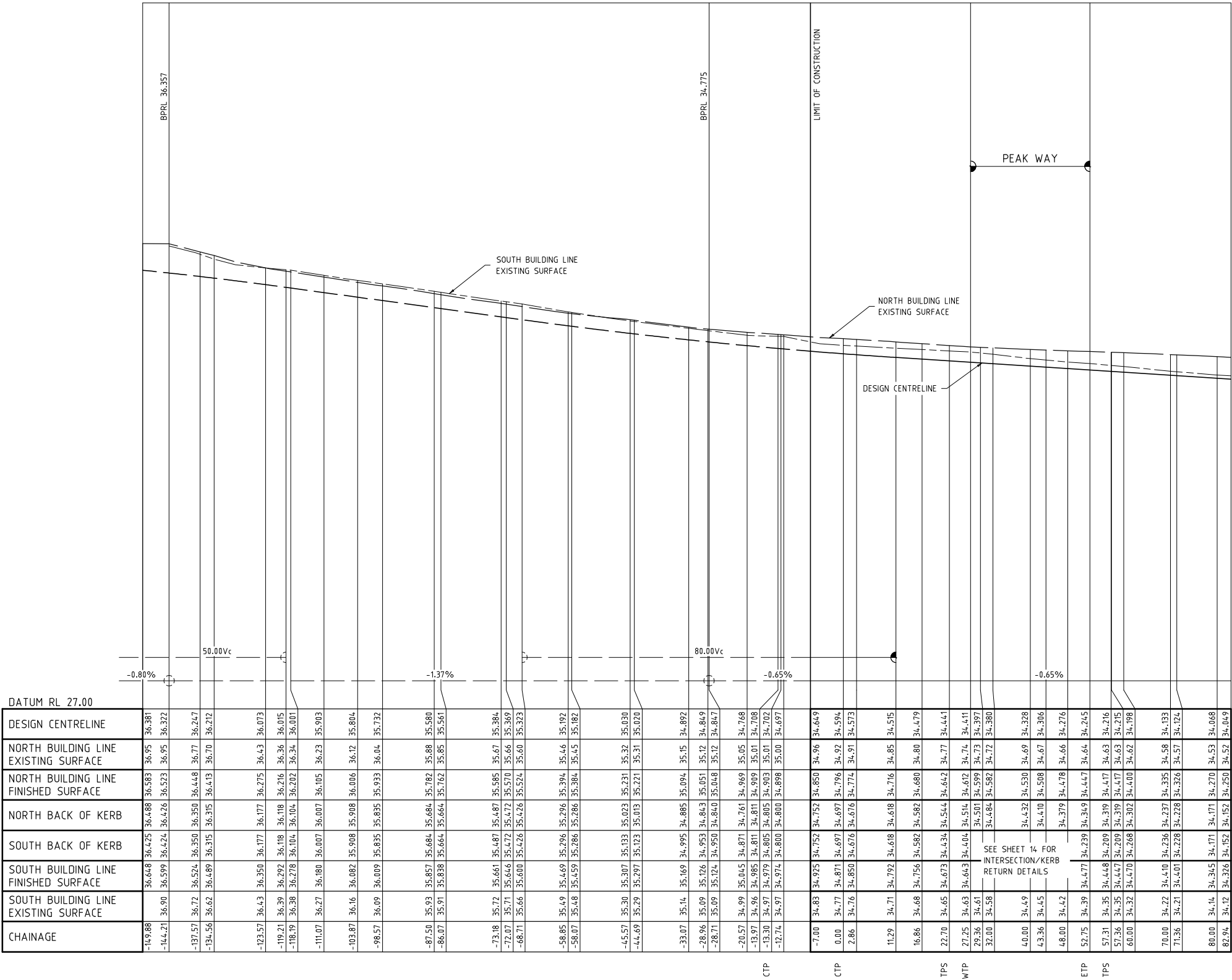


PLANNING PERMIT No 1263/2011

AMENDMENTS		Peter Berry & Associates Pty. Ltd. Civil Engineers 153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	KINGSTON COAST ESTATE STAGE 6	MUNICIPALITY GREATER GEELONG
18.01.23	VERSION C	SURVEYED	DESIGNED P.J.B	REFERENCE 1503 E/6
DATE	DESCRIPTION	DESIGNED	DRAWN C.S.	REFERENCE
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GREATER GEELONG CITY COUNCIL
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GREATER GEELONG PLANNING SCHEME

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COASTAL BOULEVARD LONGITUDINAL SECTION

SCALES - HORIZ. 1 : 500
VERT. 1 : 50

SEE SHEET No 4
FOR CONTINUATION

AMENDMENTS

18.01.23	VERSION C
DATE	DESCRIPTION

A1

1 : 500	10	5	0	10	20	30
1 : 50	1	0.5	0	1	2	3

MELWAY REF. 484G7

SURVEYED

DESIGNED P.J.B

DRAWN C.S.

CHECKED

Peter Berry & Associates Pty. Ltd.

Civil Engineers

KINGSTON COAST ESTATE
STAGE 6

SCALE AS SHOWN DATUM AHD DATE JUN '22

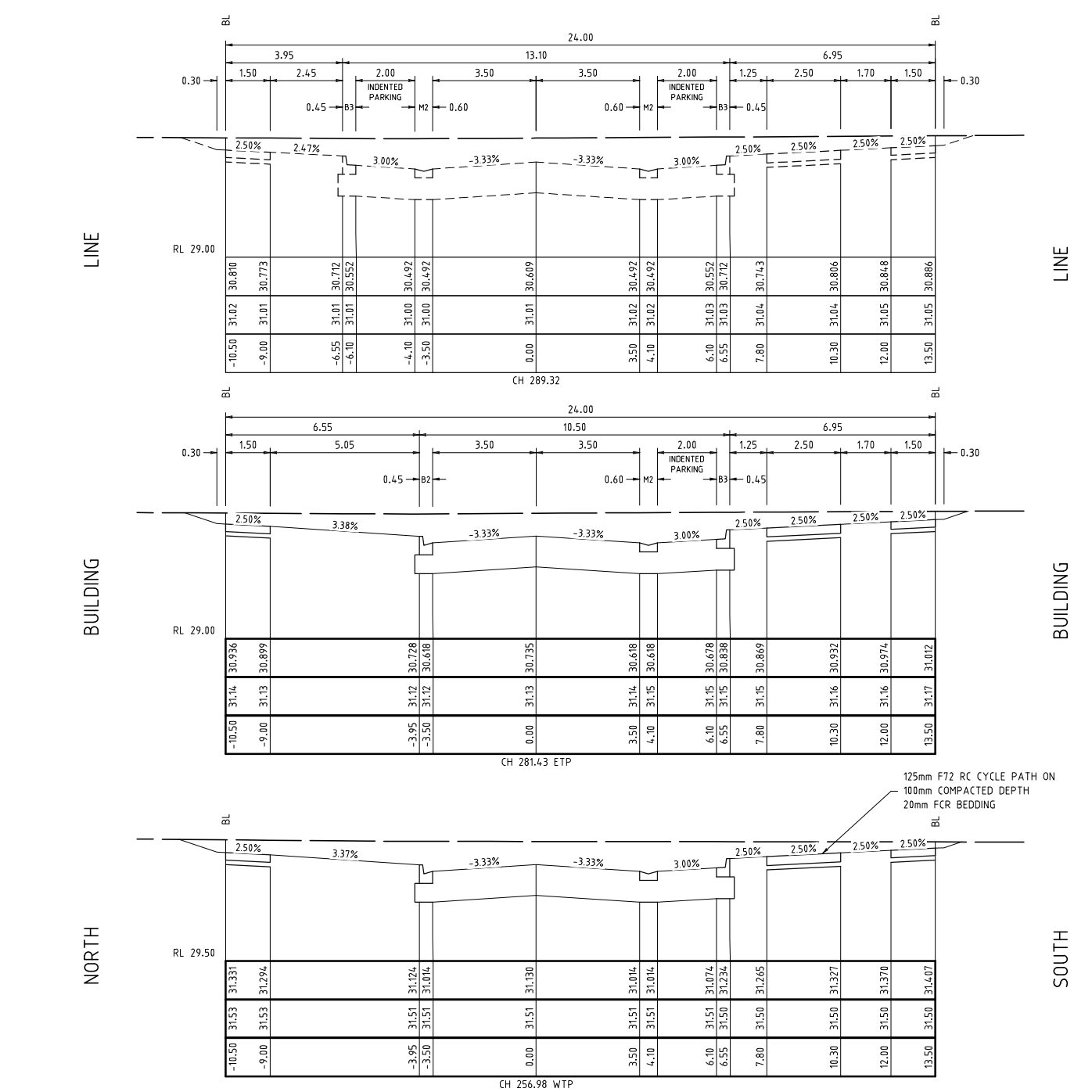
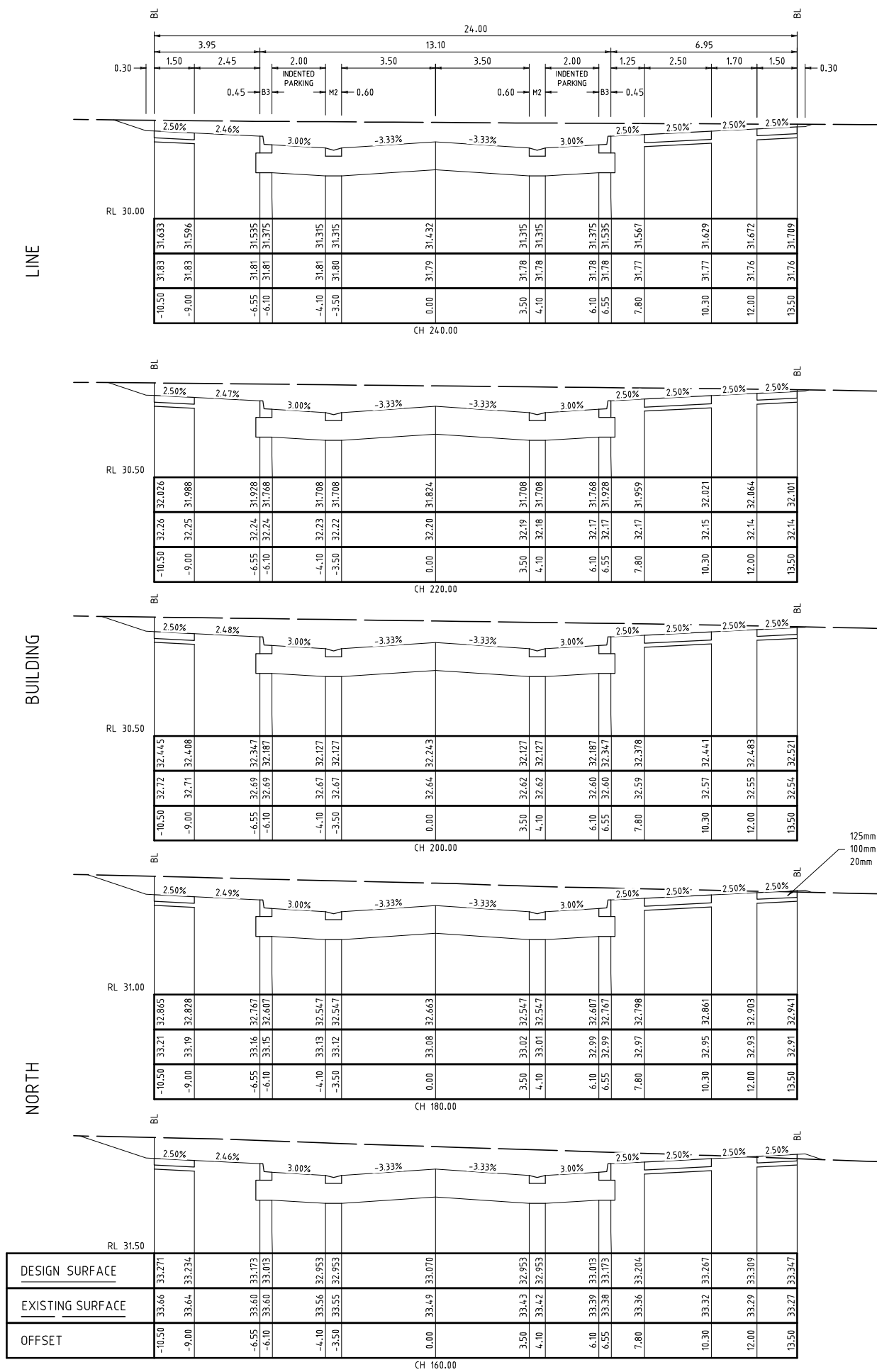
MUNICIPALITY
GREATER GEELONG

REFERENCE
1503 E/6

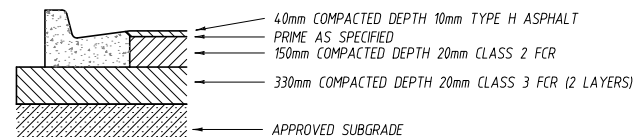
SHEET 3 OF 30

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Geelong Victoria 3220
Telephone: 5223 2799

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NOTE: BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 6 FOR CUT AND FILL UNLESS OTHERWISE SHOWN.





- SUBGRADE IMPROVEMENT (IF REQUIRED)
- 200mm DEPTH 3% LIME & 3% CEMENT STABILIZED SUBGRADE EXTENDING 150mm BEHIND KERB, OR
 - 150mm COMPACTED DEPTH 40mm CLASS 4 FCR

**GREATER GEELONG CITY COUNCIL
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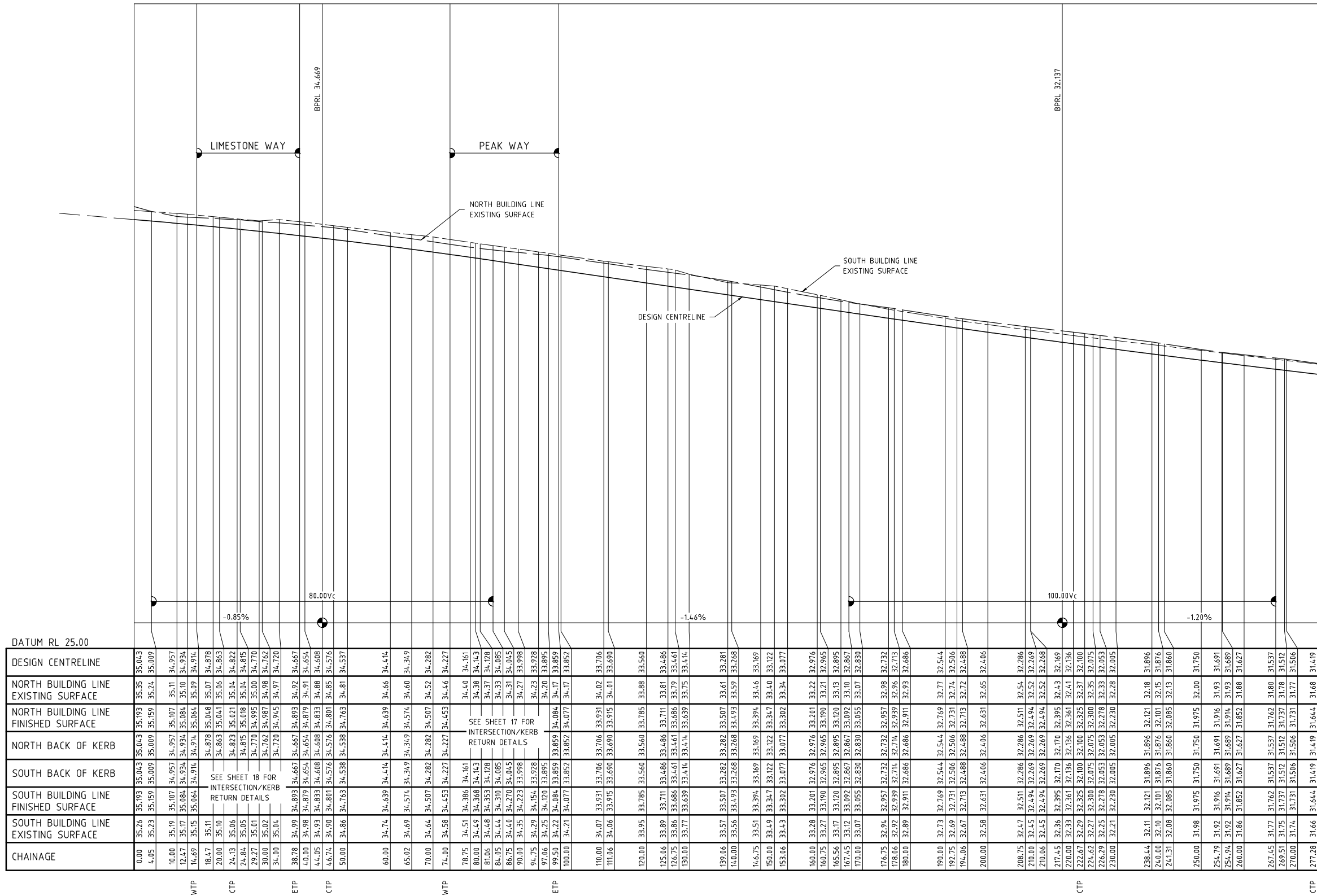
AMENDMENTS				Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799				
				MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY			
	18.01.23	VERSION C		SURVEYED					GREATER GEELONG			
	DATE	DESCRIPTION	DESIGNED P.J.B.					REFERENCE				
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											1503 E/6	

COASTAL BOULEVARD CROSS SECTIONS

SCALES - HORIZ. 1 : 100
VERT. 1 : 50


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PLANNING ENVIRONMENT ACT 1987
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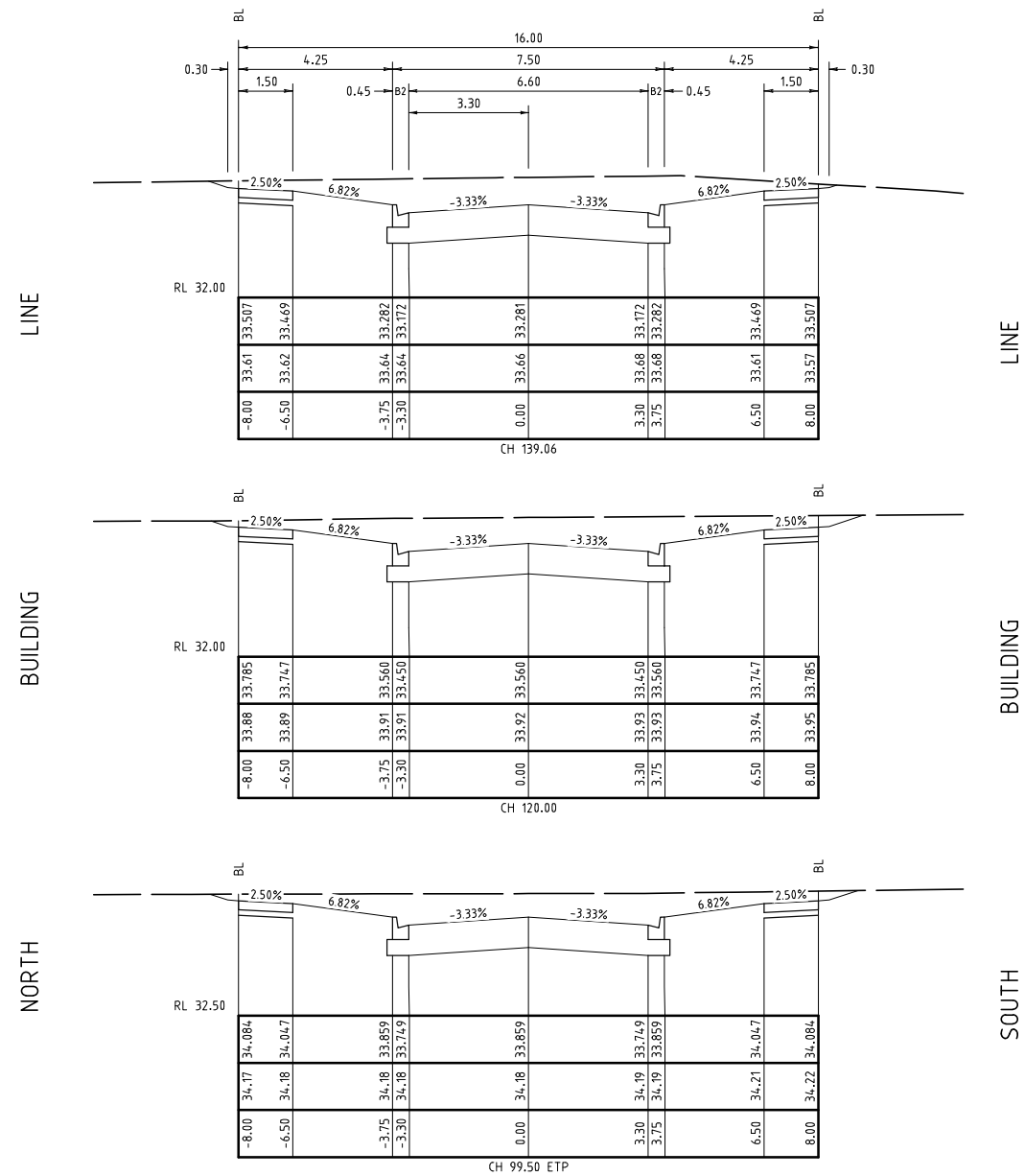
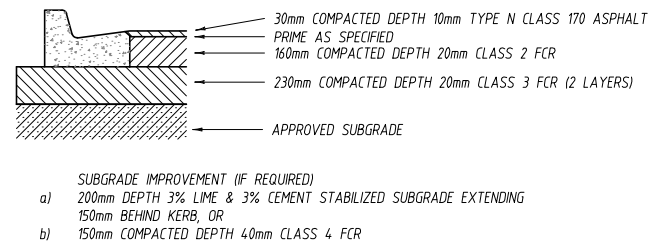
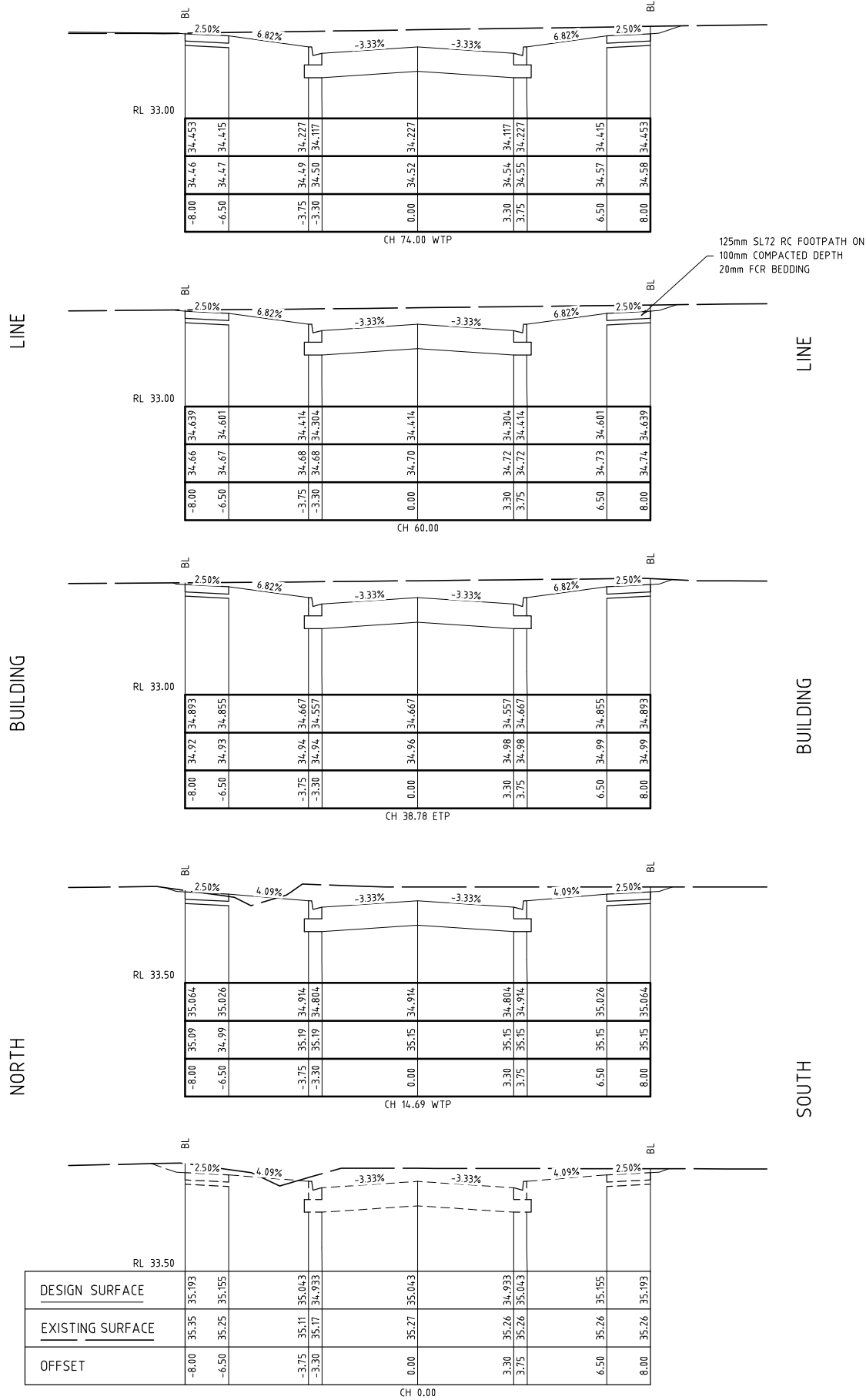
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SCALES - HORIZ. 1 : 500
VERT. 1 : 50

PLANNING PERMIT No 1263/2011

AMENDMENTS			<div></div> <div>Peter Berry & Associates Pty. Ltd.</div> <div>Civil Engineers</div>	<div>153 Yarra Street</div> <div>Geelong Victoria 3220</div> <div>Telephone: 5223 2799</div>				
	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6			MUNICIPALITY	
			SURVEYED				GREATER GEELONG	
DATE	DESCRIPTION		DESIGNED P.J.B				REFERENCE	
A1	<div><div>1 : 500</div><div><div><div>10</div><div>5</div><div>0</div><div>10</div><div>20</div><div>30</div></div></div><div>METRES</div></div>		DRAWN C.S.	SCALE AS SHOWN		DATUM AHD	DATE JUN '22	SHEET 7 OF 30
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PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

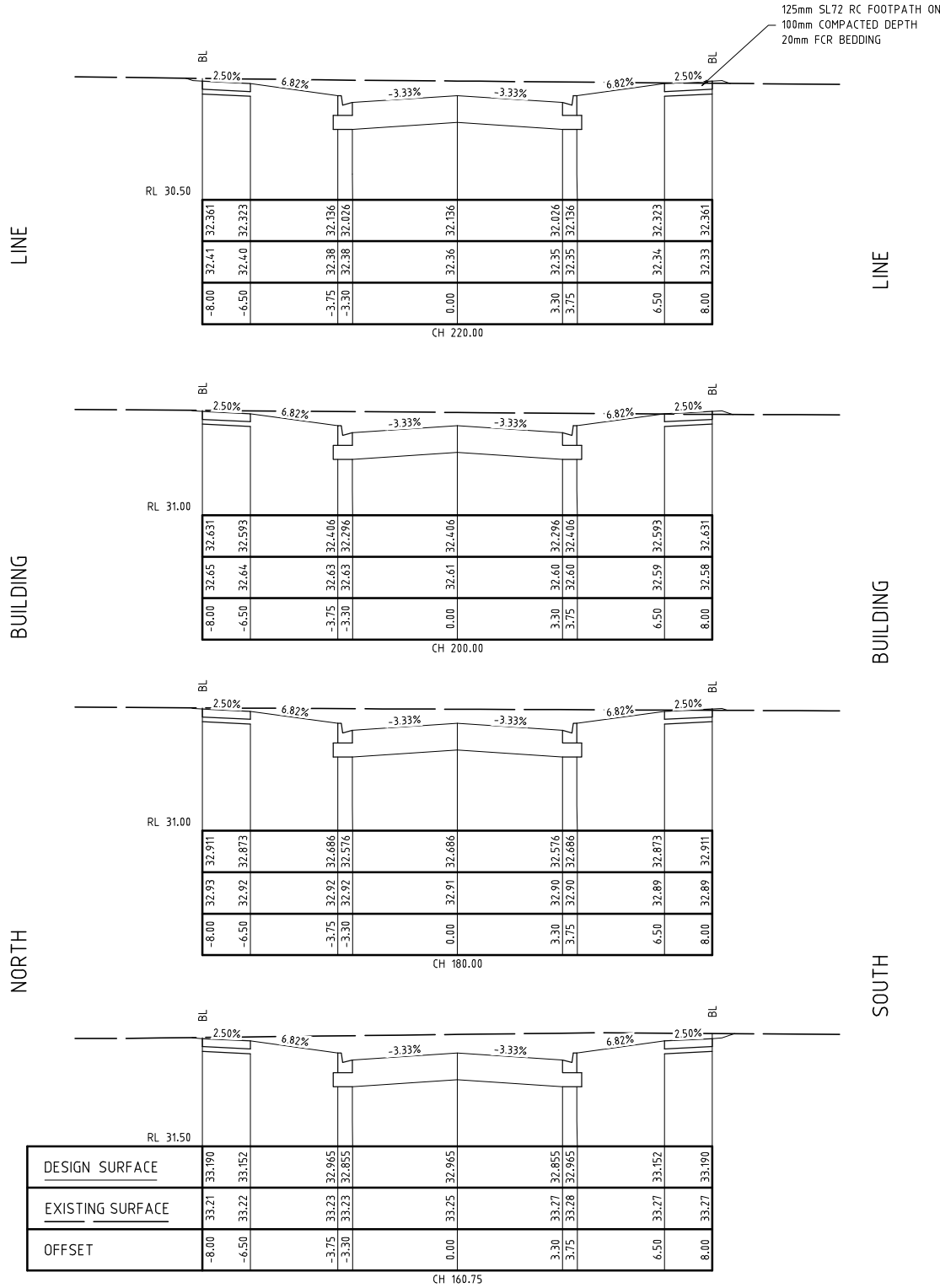
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DUNVIEW DRIVE CROSS SECTIONS

SCALES - HORIZ. 1 : 100
VERT. 1 : 50

NOTE:
BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 6
FOR CUT AND FILL UNLESS OTHERWISE SHOWN.

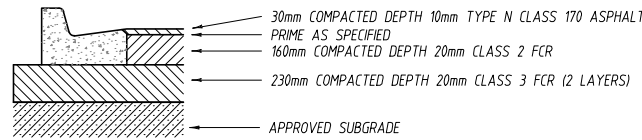
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	18.01.23	VERSION C			REFERENCE 1503 E/6
	DATE	DESCRIPTION			SHEET 8 OF 30
	A1	1:100 2 1 0 2 4 6 1:50 1 0.5 0 1 2 3 METRES			
		CHECKED	SCALE AS SHOWN	DATUM AHD	DATE JUN '22



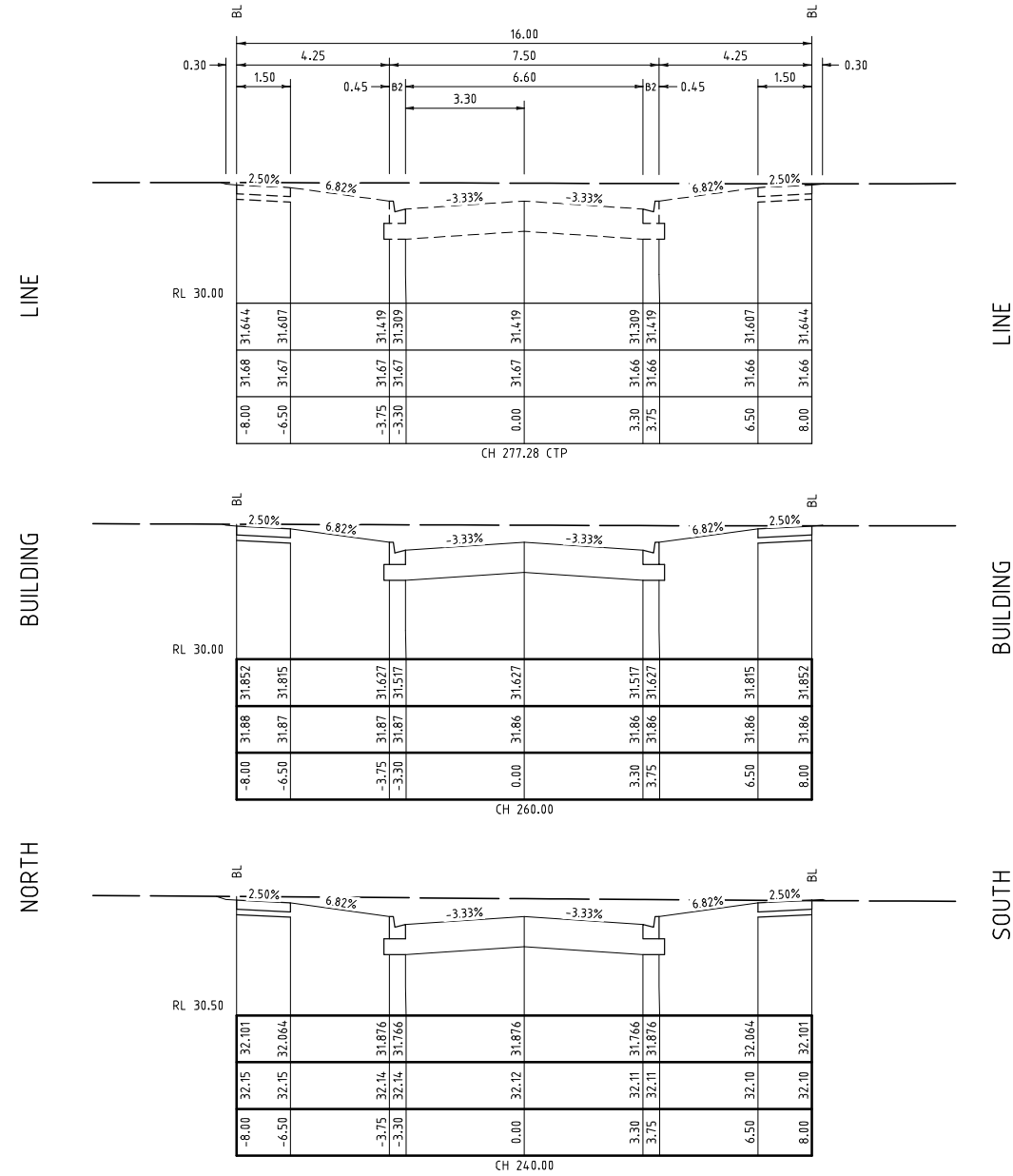
DUNVIEW DRIVE CROSS SECTIONS

SCALES - HORIZ. 1 : 100
VERT. 1 : 50

NOTE: BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 6 FOR CUT AND FILL UNLESS OTHERWISE SHOWN.





- SUBGRADE IMPROVEMENT (IF REQUIRED)
- a) 200mm DEPTH 3% LIME & 3% CEMENT STABILIZED SUBGRADE EXTENDING 150mm BEHIND KERB, OR
- b) 150mm COMPACTED DEPTH 40mm CLASS 4 FCR

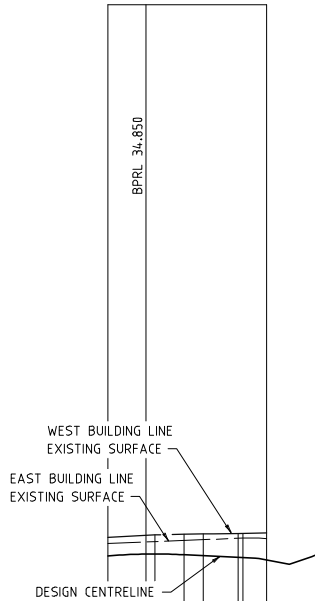


**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

**Endorsed Plan
Planning Permit No: PP-1263-2011
Cert-15374
Sheet 9 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023**

PLANNING PERMIT No 1263/2011

AMENDMENTS				Peter Berry & Associates Pty. Ltd.			153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799			
										Civil Engineers
				MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6			MUNICIPALITY		
	18.01.23	VERSION C		SURVEYED				GREATER GEELONG		
DATE	DESCRIPTION	DESIGNED P.J.B	REFERENCE							
A1			DRAWN C.S.	1503 E/6			SHEET 9 OF 30			
			CHECKED							SCALE AS SHOWN



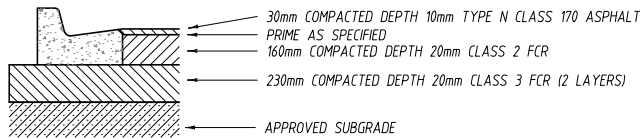
NOTE:
SEE SHEET No 18 FOR
INTERSECTION / KERB
RETURN DETAILS

DATUM RL 26.00	
DESIGN CENTRELINE	34.810
WEST BUILDING LINE EXISTING SURFACE	35.06
WEST BUILDING LINE FINISHED SURFACE	34.960
WEST BACK OF KERB	34.810
EAST BACK OF KERB	34.810
EAST BUILDING LINE FINISHED SURFACE	34.960
EAST BUILDING LINE EXISTING SURFACE	34.99
CHAINAGE	0.00

HP
ETP
WTP

LIMESTONE WAY LONGITUDINAL SECTION

SCALES - HORIZ. 1 : 500
VERT. 1 : 50



- SUBGRADE IMPROVEMENT (IF REQUIRED)
- a) 200mm DEPTH 3% LIME & 3% CEMENT STABILIZED SUBGRADE EXTENDING 150mm BEHIND KERB, OR
- b) 150mm COMPACTED DEPTH 40mm CLASS 4 FCR

LINE

BUILDING

WEST

DESIGN SURFACE	34.960	34.972	34.810	34.810	34.700	34.810	34.960
EXISTING SURFACE	35.06	35.05	35.03	35.03	35.03	34.99	34.98
OFFSET	-8.00	-6.50	-3.75	-3.30	0.00	3.30	6.50

CH 0.00

CH 12.60 ETP

LINE

BUILDING

EAST

DESIGN SURFACE	34.960	34.972	34.810	34.810	34.700	34.810	34.960
EXISTING SURFACE	35.06	35.05	35.03	35.03	35.03	34.99	34.98
OFFSET	-8.00	-6.50	-3.75	-3.30	0.00	3.30	6.50

CH 0.00

CH 12.60 ETP

LINE

BUILDING

EAST

LIMESTONE WAY CROSS SECTIONS

SCALES - HORIZ. 1 : 100
VERT. 1 : 50


NOTE:
BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 6
FOR CUT AND FILL UNLESS OTHERWISE SHOWN.

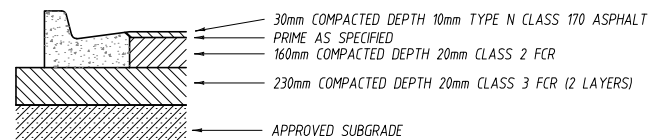
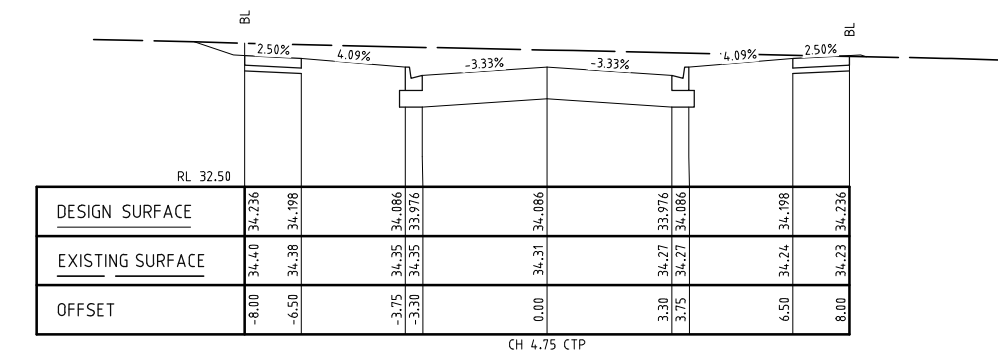
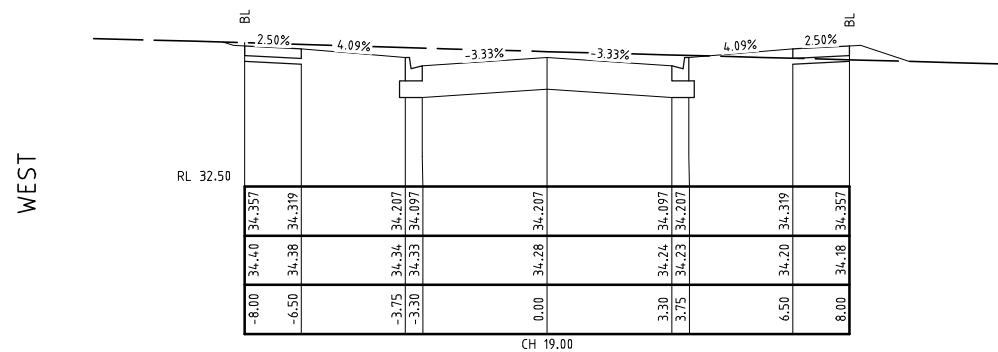
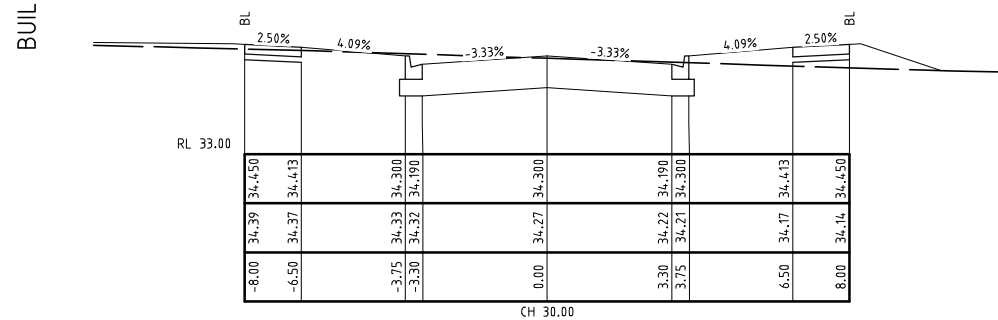
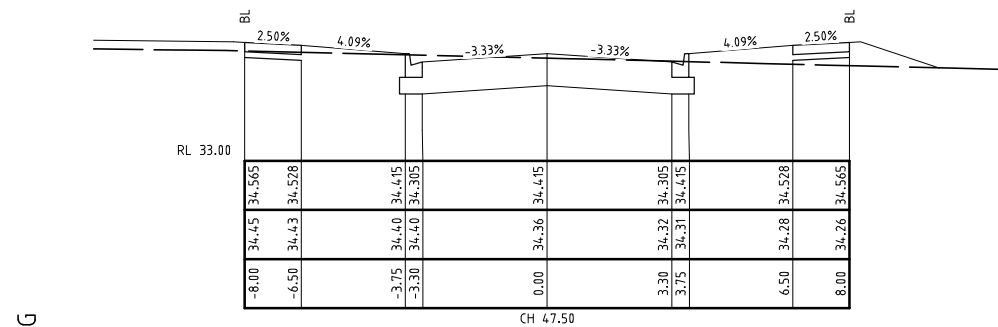
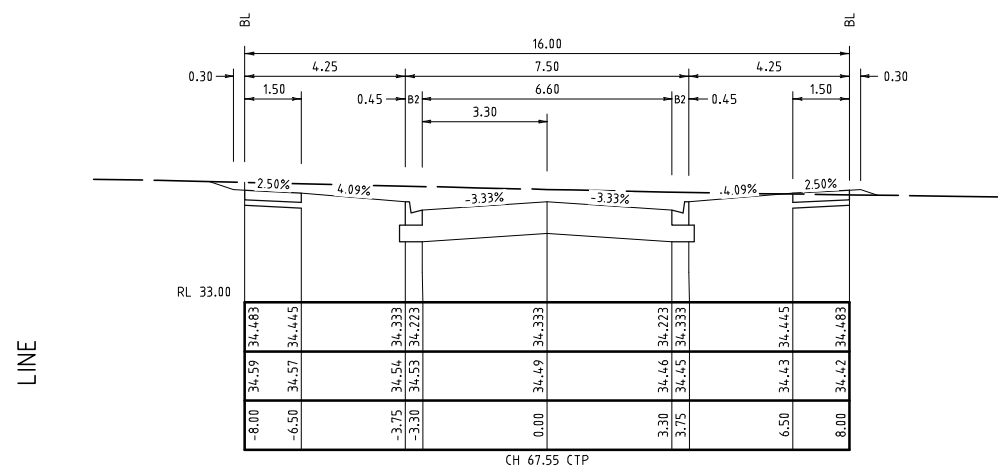
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 10 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

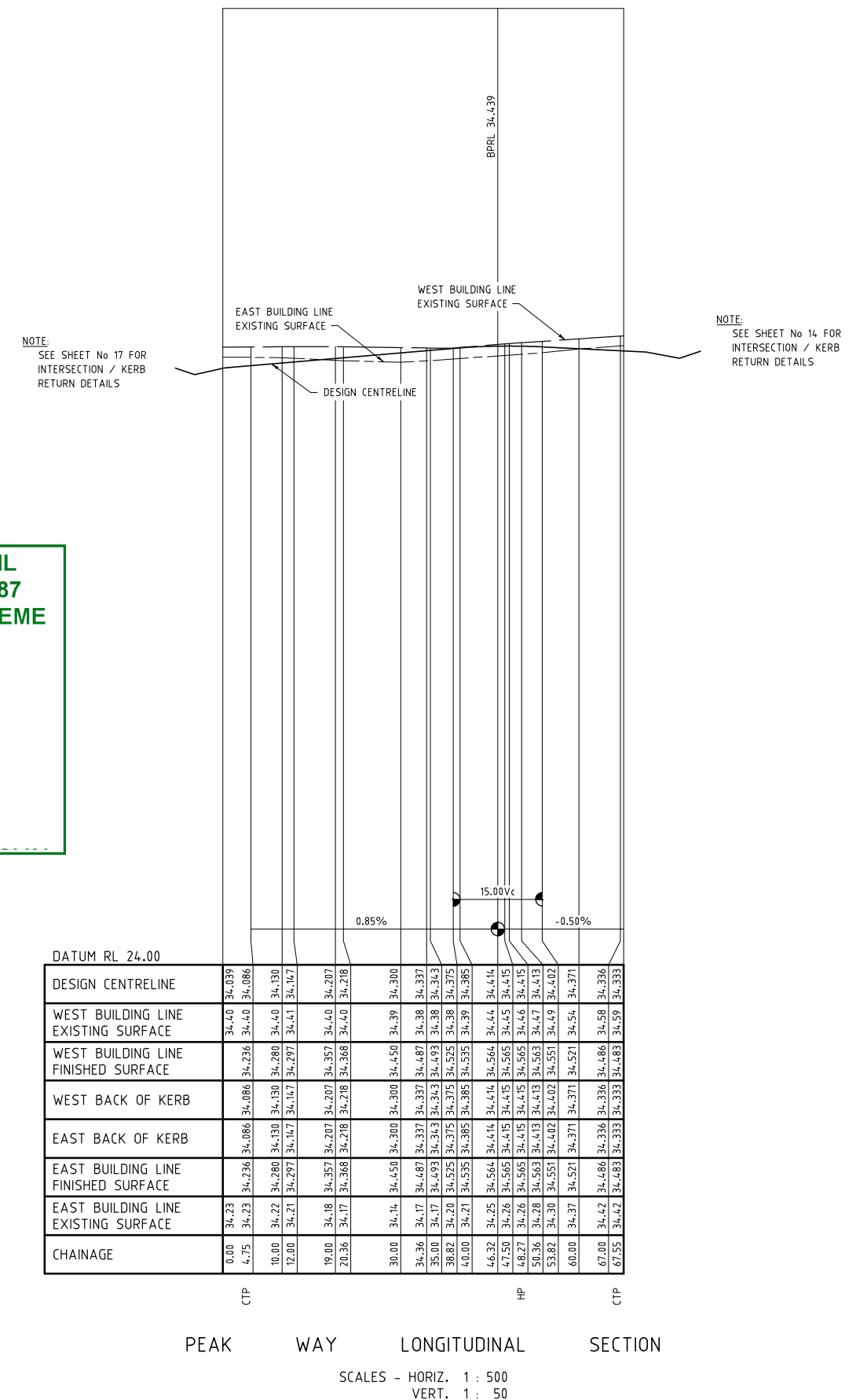
NOTE: THIS IS NOT A BUILDING APPROVAL

PLANNING PERMIT No 1263/2011



AMENDMENTS			<div></div> <div>Peter Berry & Associates Pty. Ltd.</div> <div>Civil Engineers</div>	<div>153 Yarra Street</div> <div>Geelong Victoria 3220</div> <div>Telephone: 5223 2799</div>			
	18.01.23	VERSION C	MELWAY REF. 484G7	<div>KINGSTON COAST ESTATE</div> <div>STAGE 6</div>			MUNICIPALITY
			SURVEYED				GREATER GEELONG
			DESIGNED P.J.B				REFERENCE
			DRAWN C.S.				1503 ^E / ₆
A1	<div><div><div>1 : 500</div><div>1 : 100</div><div>1 : 50</div></div><div><div>5</div><div>2</div><div>1</div></div><div><div>0</div><div>0</div><div>0.5</div></div><div><div>10</div><div>2</div><div>1</div></div><div><div>20</div><div>4</div><div>2</div></div><div><div>30</div><div>6</div><div>3</div></div></div> <div>METRES</div>			<div>SCALE AS SHOWN</div> <div>DATUM AHD</div> <div>DATE JUN '22</div>			SHEET 10 OF 30
			CHECKED				



NOTE: BATTER SLOPES ON LOTS SHALL BE A MAXIMUM OF 1 IN 6 FOR CUT AND FILL UNLESS OTHERWISE SHOWN.



PLANNING PERMIT No 1263/2011

AMENDMENTS				Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799			
	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY			
			SURVEYED					GREATER GEELONG			
			DESIGNED P.J.B					REFERENCE			
			DRAWN C.S.					1503 E/6			
A1	1: 500 10 5 0 20 30 1: 100 2 1 0 2 4 6  METRES										
	1: 50 1 0.5 0 1 2 3										
			CHECKED	SCALE AS SHOWN	DATUM	AHD	DATE	JUN '22	SHEET 11 OF 30		

CHAINAGE	EAST BUILDING LINE EXISTING SURFACE	EAST BUILDING LINE FINISHED SURFACE	WEST BACK OF KERB	WEST BUILDING LINE FINISHED SURFACE	WEST BUILDING LINE EXISTING SURFACE	DESIGN CENTRELINE
0.00	31.21				31.41	30.925
0.55	31.21				31.42	30.930
2.13	31.22	31.168	30.943		31.42	30.943
2.99	31.22	31.176	30.951	31.051	31.43	30.951
10.00	31.25	31.235	31.010	31.110	31.45	31.010
20.00	31.30	31.320	31.095	31.195	31.50	31.095
22.29	31.31	31.340	31.115	31.215	31.51	31.115
24.24	31.32	31.356	31.131	31.231	31.52	31.131
31.76	31.36	31.426	31.201	31.301	31.56	31.201
32.21	31.36	31.430	31.205	31.305	31.56	31.205
40.76	31.47	31.517	31.292	31.392	31.64	31.292
44.79	31.53	31.562	31.337	31.437	31.68	31.337
44.94	31.53	31.563	31.338	31.438	31.68	31.338
54.65	31.66				31.454	31.454
60.00	31.74				31.522	31.522
66.06	31.83	31.829	31.604	31.704	31.94	31.604
67.29	31.85	31.846	31.621	31.721	31.95	31.621
70.00	31.90	31.884	31.659	31.759	31.99	31.659
81.27	32.07	32.042	31.817	31.917	32.13	31.817
91.59	32.20	32.186	31.961	32.061	32.28	31.961
100.00	32.32	32.304	32.079	32.179	32.39	32.079
107.59	32.43	32.410	32.185	32.285	32.50	32.185
120.00	32.61	32.584	32.359	32.459	32.64	32.359
123.60	32.66	32.634	32.409	32.509	32.69	32.409
130.00	32.78	32.724	32.499	32.599	32.80	32.499
136.16	32.91	32.810	32.585	32.685	32.91	32.585
140.00	32.99	32.864	32.639	32.739	32.99	32.639


NOTE: THIS IS NOT A BUILDING APPROVAL

SUBGRADE IMPROVEMENT (IF REQUIRED)

a) 200mm DEPTH 3% LIME & 3% CEMENT STABILIZED SUBGRADE EXTENDING 150mm BEHIND KERB, OR

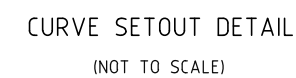
b) 150mm COMPACTED DEPTH 40mm CLASS 4 FCR

PLANNING PERMIT No 1263/2011

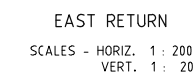
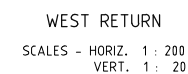
AMENDMENTS				Peter Berry & Associates Pty. Ltd. Civil Engineers			153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799		
	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY	
			SURVEYED					GREATER GEELONG	
	DATE	DESCRIPTION	DESIGNED P.J.B					REFERENCE	
			DRAWN C.S.					1503 E/6	
A1	<div><div><div><div>1: 500</div><div>10</div><div>5</div><div>0</div><div>10</div><div>20</div><div>30</div></div><div><div>1: 100</div><div>2</div><div>1</div><div>0</div><div>2</div><div>4</div><div>6</div></div><div><div>1: 50</div><div>1</div><div>0.5</div><div>0</div><div>1</div><div>2</div><div>3</div></div></div><div>METRES</div></div>		CHECKED	SCALE AS SHOWN	DATUM AHD	DATE JUN '22	SHEET 13 OF 30		




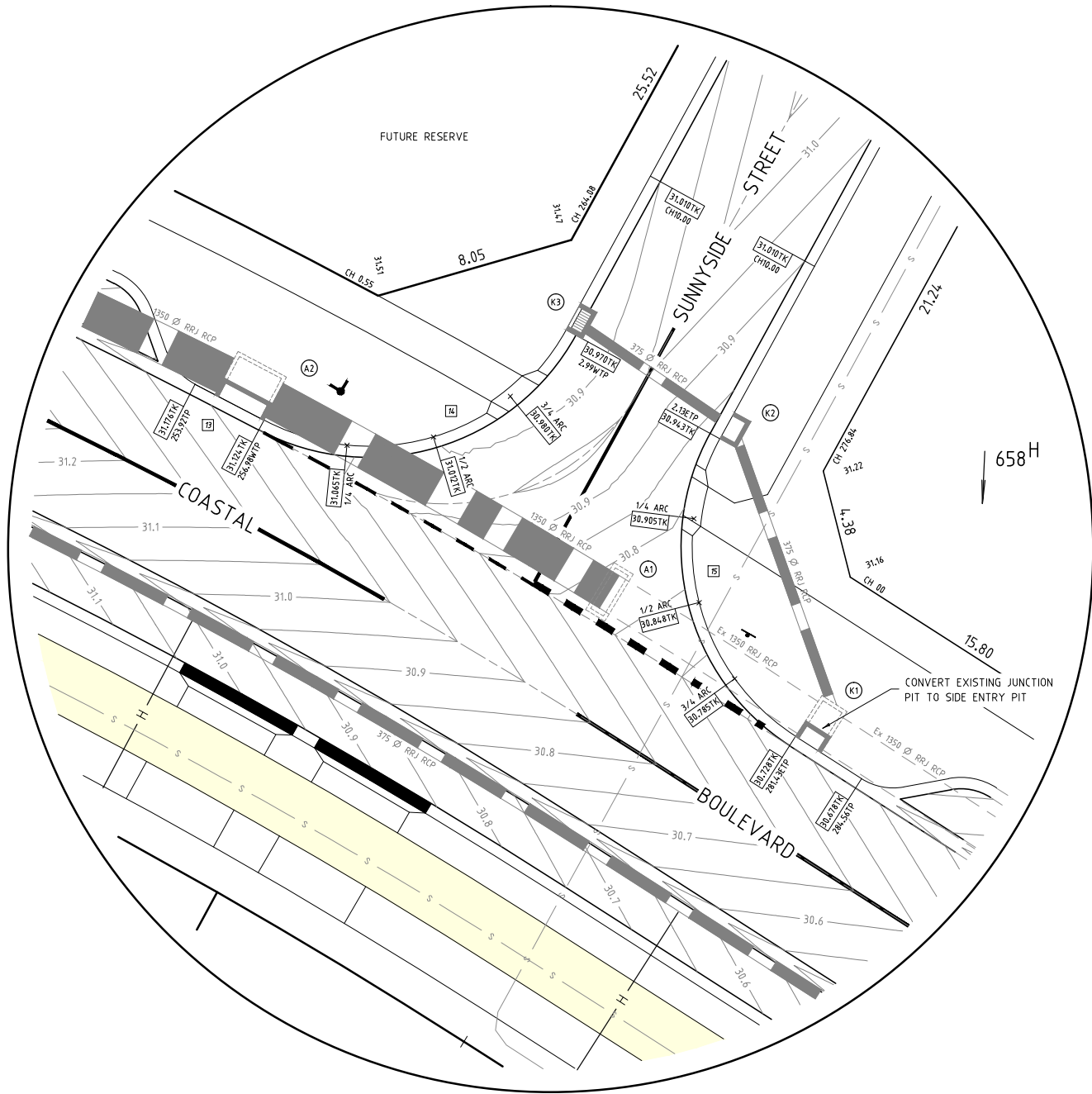
INTERSECTION DETAIL
SCALE (A1) 1 : 125
CONTOUR INTERVAL 0.05 m



NOTE: ALL CURVE RADII LABELLED THUS - 1 ARE TO BACK OF KERB



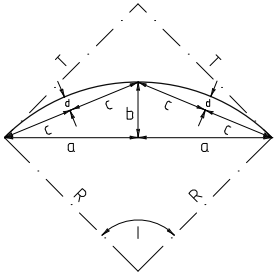
AMENDMENTS			<div></div> <div>Peter Berry & Associates Pty. Ltd.</div> <div>Civil Engineers</div>	153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799			
	18.01.23	VERSION C					
	DATE	DESCRIPTION	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6			MUNICIPALITY
			SURVEYED				GREATER GEELONG
			DESIGNED P.J.B				REFERENCE
			DRAWN C.S.				1503 E/6
A1	<div><div><div>1 : 200</div><div>4</div><div>2</div><div>0</div><div>4</div><div>8</div><div>12</div></div><div><div>1 : 125</div><div>2.5</div><div>1.25</div><div>0</div><div>2.5</div><div>5</div><div>7.5</div></div><div><div>1 : 75</div><div>0.4</div><div>0.2</div><div>0</div><div>0.4</div><div>0.8</div><div>1.2</div></div></div> <div>METRES</div>		CHECKED	SCALE AS SHOWN	DATUM AHD	DATE JUN '22	SHEET 15 OF 30



INTERSECTION DETAIL

SCALE (A1) 1 : 125

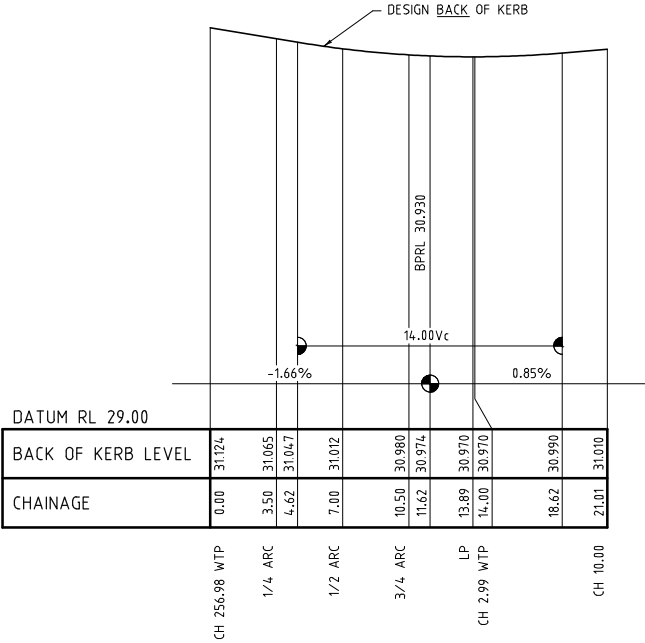
CONTOUR INTERVAL 0.05 m



CURVE SETOUT DETAIL
(NOT TO SCALE)

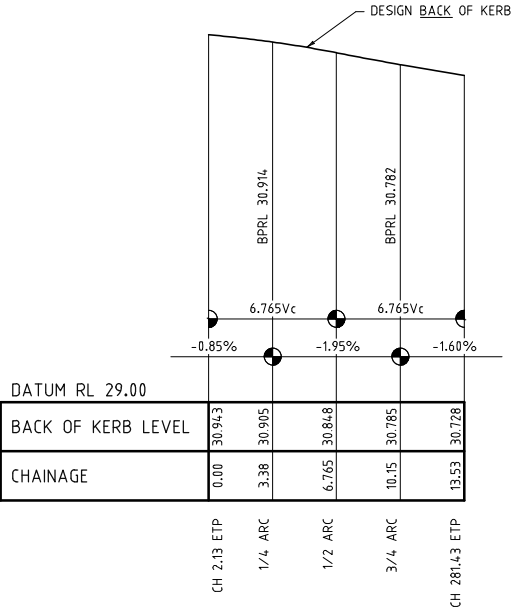
CURVE SETOUT TABLE								
CURVE	RADIUS (m)	I	T	ARC	a	b	c	d
13	244.50	0°43'41"	1.554	3.107	1.554	0.005	0.777	0.001
14	9.00	89°08'32"	8.866	14.002	6.316	2.589	3.413	0.472
15	9.00	86°07'39"	8.411	13.529	6.145	2.425	3.303	0.428

NOTE: ALL CURVE RADII LABELLED THUS - [T] ARE TO BACK OF KERB



WEST RETURN

SCALES - HORIZ. 1 : 200
VERT. 1 : 20



EAST RETURN

SCALES - HORIZ. 1 : 200
VERT. 1 : 20

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME



Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 16 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

NOTE: THIS IS NOT A BUILDING APPROVAL

SERVICES LOCATION SCHEDULE

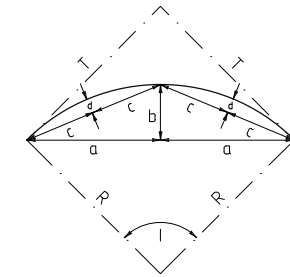
STREET NAME	TELECOM	GAS	WATER	ELECTRICITY	KERB
COASTAL BOULEVARD	1.90 S	2.10 N	2.70 N	2.60 S	VARIABLE
SUNNYSIDE STREET	0.50 W	2.10 E	2.70 E	1.20 W	4.25E/1.85W

PLANNING PERMIT No 1263/2011

AMENDMENTS			 Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799			
				MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY GREATER GEELONG	
	18.01.23	VERSION C		SURVEYED					REFERENCE 1503 E/6	
	DATE	DESCRIPTION	DESIGNED P.J.B					SHEET 16 OF 30		
A1			DRAWN C.S.							
			CHECKED	SCALE AS SHOWN	DATUM	AHD	DATE	JUN '22		

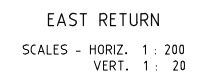
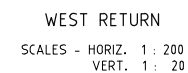


CONTOUR INTERVAL 0.05 m




CURVE	RADIUS (m)	l	T	ARC	a	b	c	d
5	9.00	90°00'00"	9.00	14.137	6.364	2.636	3.444	0.685
6	9.00	90°00'00"	9.00	14.137	6.364	2.636	3.444	0.685

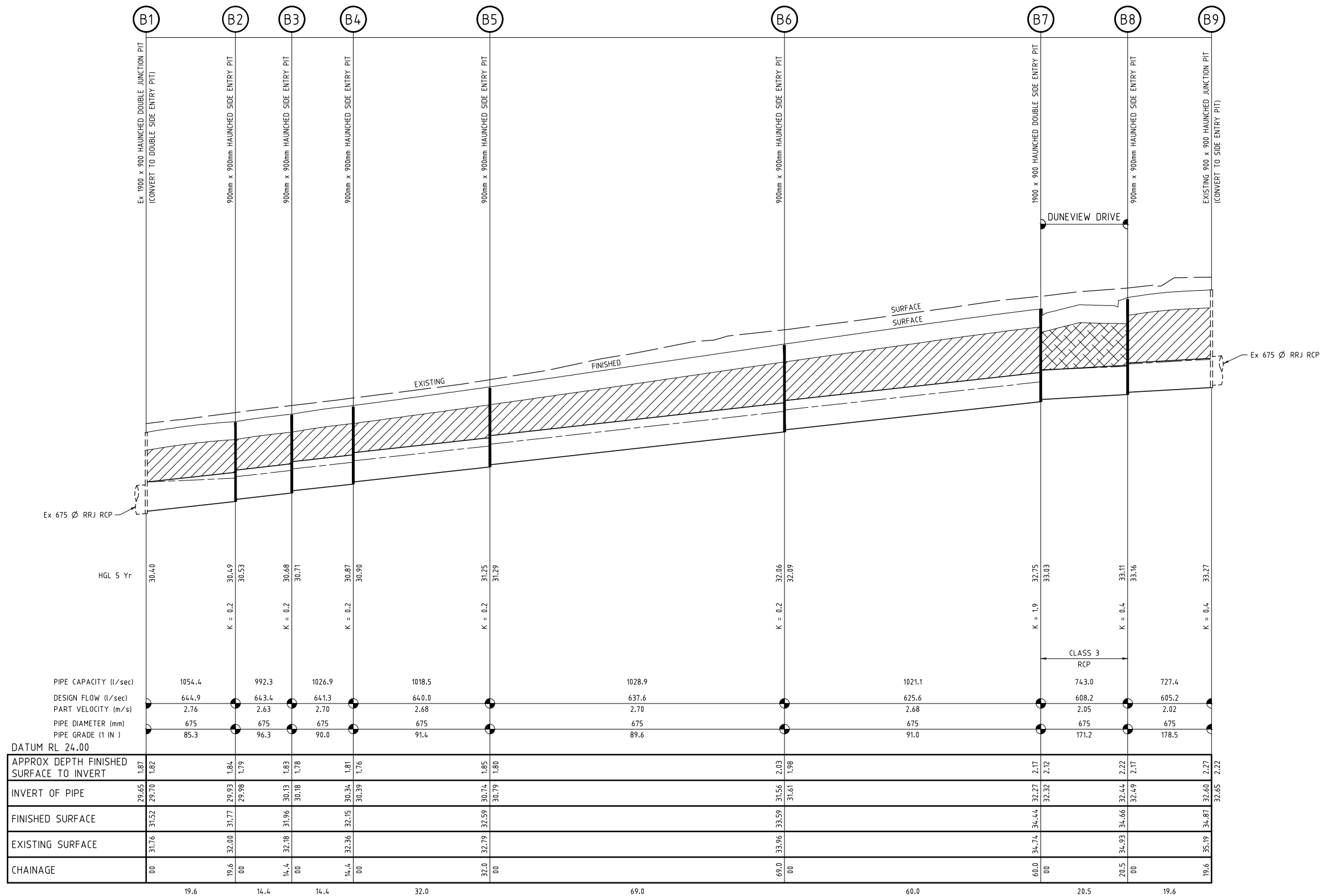
NOTE: ALL CURVE RADN LABELLED THUS - 1 ARE TO BACK OF KERB



SERVICES LOCATION SCHEDULE					
STREET NAME	TELECOM	GAS	WATER	ELECTRICITY	KERB
DUNEVIEW DR (W OF PEAK WAY)	1.90 S	2.10 N	2.70 N	2.50 S	4.25
DUNEVIEW DR (E OF PEAK WAY)	1.90 N	2.10 S	2.70 S	2.50 N	4.25
PEAK WAY	1.90 F	2.10 W	2.70 W	2.50 F	4.25

AMENDMENTS				<div><div>Peter Berry & Associates Pty. Ltd. Civil Engineers</div></div>	<div>153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799</div>			
	18.01.23	VERSION C	MELWAY REF. 484G7	<div>KINGSTON COAST ESTATE STAGE 6</div>			MUNICIPALITY	
			SURVEYED				GREATER GEELONG	
			DESIGNED P.J.B				REFERENCE	
			DRAWN C.S.				1503 ^E / ₆	
A1	<div><div><div>1 : 200</div><div>4</div><div>2</div><div>0</div><div>0</div><div>2.5</div><div>0</div><div>2.5</div><div>8</div><div>4</div><div>5</div><div>7.5</div><div>12</div></div><div><div>1 : 125</div><div>2.5</div><div>0</div><div>2.5</div><div>5</div><div>7.5</div></div><div><div>1 : 70</div><div>0.4</div><div>0.2</div><div>0</div><div>0.4</div><div>0.8</div><div>1.2</div></div></div> <div>METRES</div>		CHECKED	SCALE AS SHOWN	DATUM	AHD	DATE JUN '22	SHEET 17 OF 30

PLANNING PERMIT No 1263/2011



DRAINAGE

LONGITUDINAL

SECTION

SCALES - HORIZ. 1 : 500
VERT. 1 : 50

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 20 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

NOTE: THIS IS NOT A BUILDING APPROVAL

DENOTES 20mm CLASS
3 FCR BACKFILL

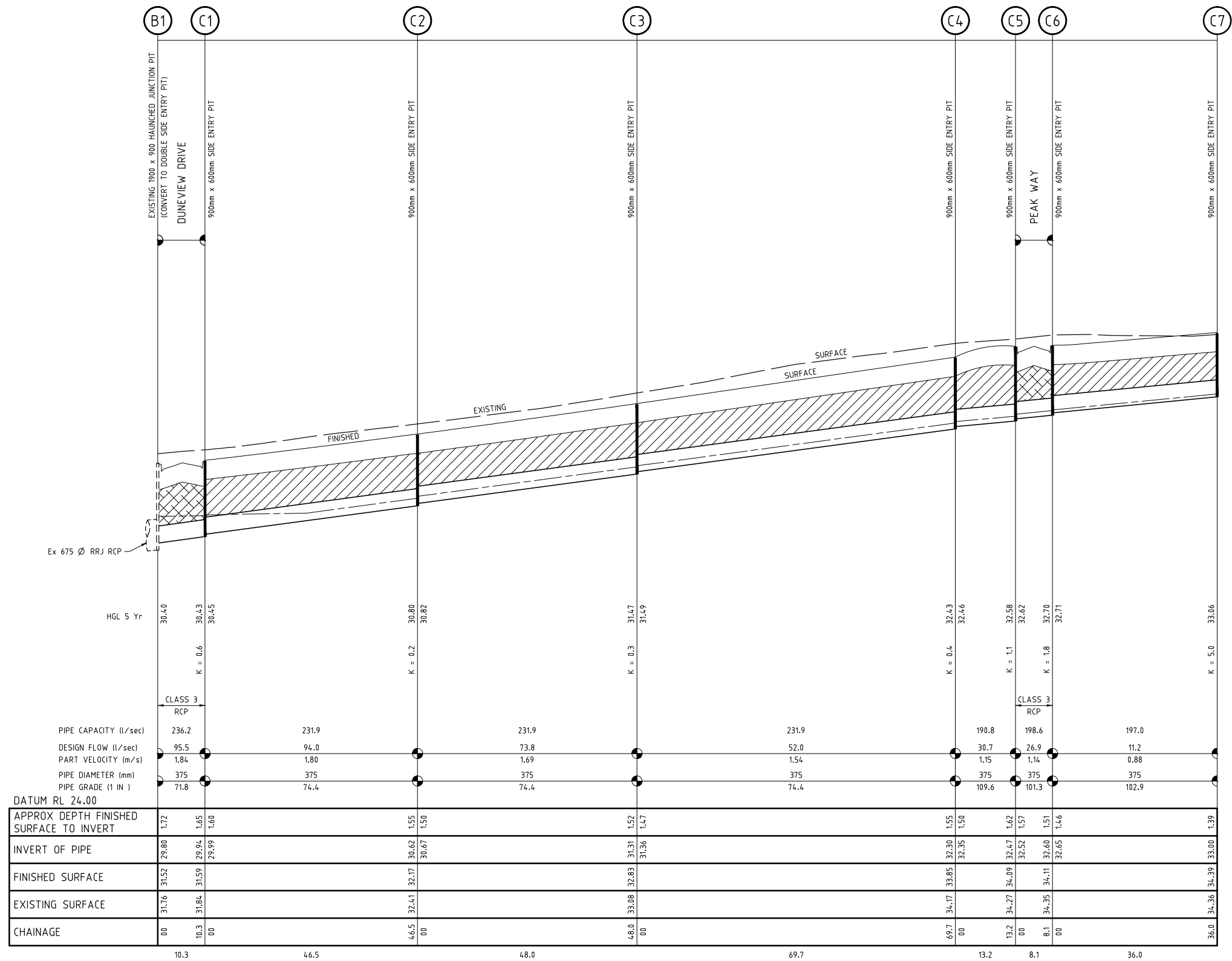
DENOTES 2% STABILIZED SAND FROM THE BOTTOM
OF PIPE TO THE SPRINGLINE WITH 20mm CLASS 3
FCR PLACED FROM THE SPRINGLINE TO SUBBASE
MATERIAL.

NOTE

ALL SUMPS IN PRECAST PITS ARE TO BE INFILLED
WITH CONCRETE FLUSH TO THE INVERT LEVEL OF
THE OUTLET PIPE.

PLANNING PERMIT No 1263/2011

AMENDMENTS			Peter Berry & Associates Pty. Ltd.		153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799
			Civil Engineers		
	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6	
	DATE	DESCRIPTION	SURVEYED		
A1	1 : 500	1 : 50	DESIGNED P.J.B.	DRAWN C.S.	MUNICIPALITY GREATER GEELONG
	1 : 50	1 : 50	CHECKED	SCALE AS SHOWN	REFERENCE 1503 E/6
				DATUM AHD	SHEET 20 OF 30
				DATE JUN '22	



**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 21 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

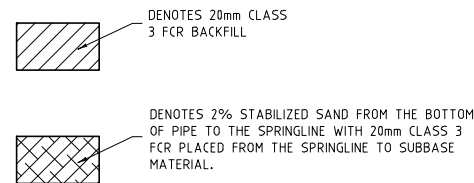
NOTE: THIS IS NOT A BUILDING APPROVAL

DRAINAGE

LONGITUDINAL

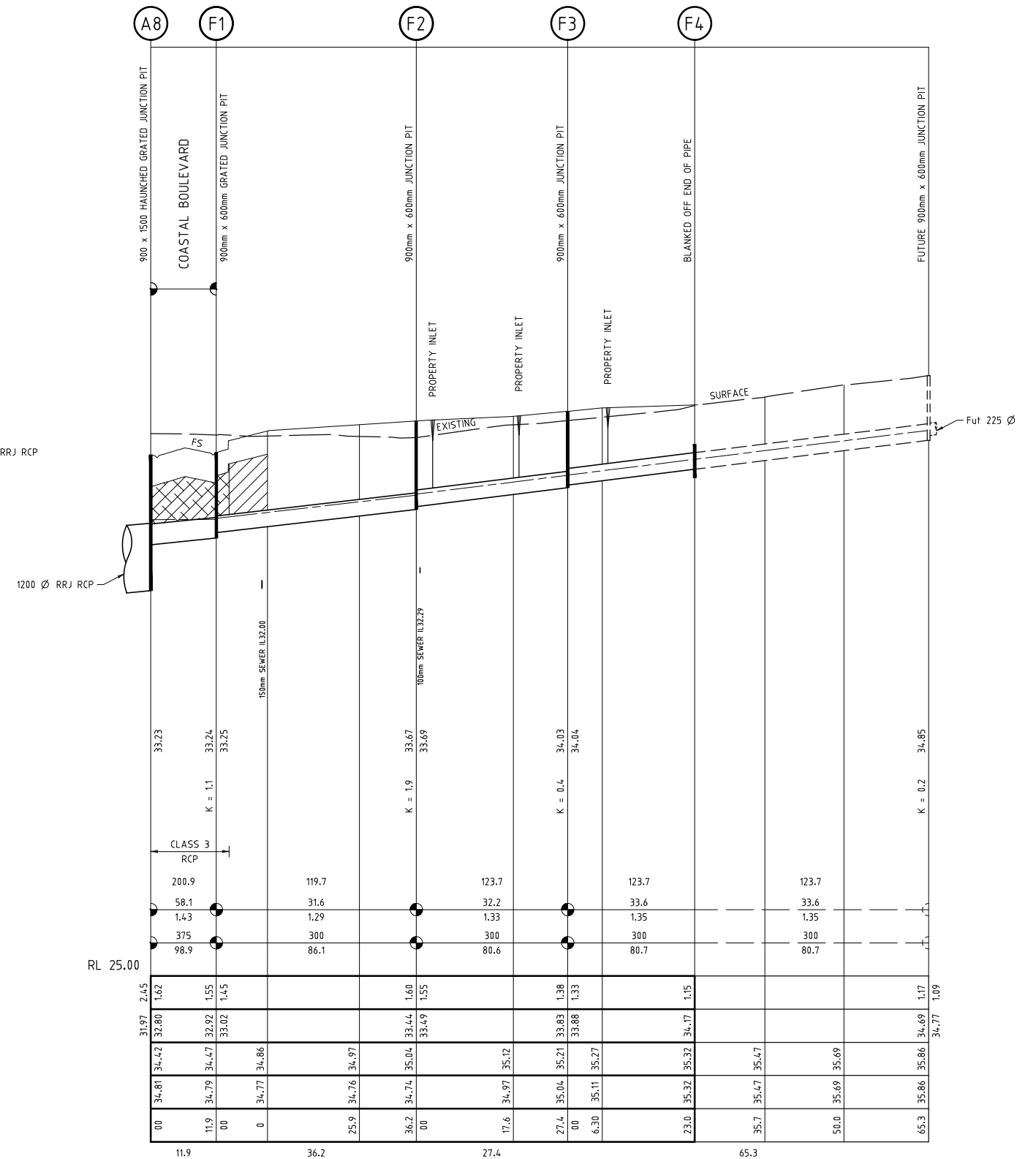
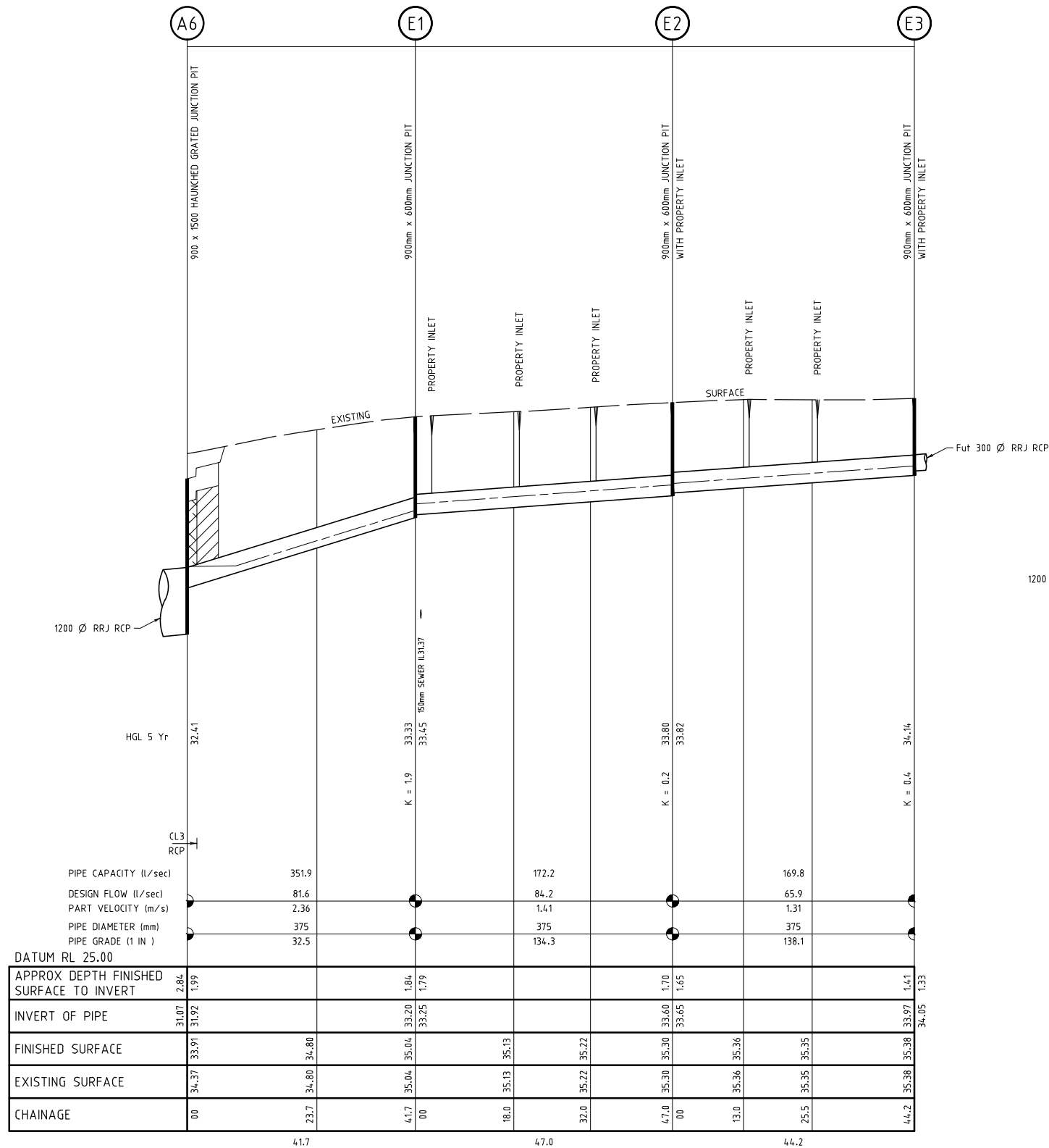
SECTION

SCALES - HORIZ. 1 : 500
VERT. 1 : 50



NOTE
ALL SUMPS IN PRECAST PITS ARE TO BE INFILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE.

AMENDMENTS			Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799
	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6		MUNICIPALITY GREATER GEELONG	
	DATE	DESCRIPTION	SURVEYED	DESIGNED P.J.B.		REFERENCE 1503 E/6	
	A1	1 : 500 10 5 0 10 20 30 1 : 50 1 0.5 0 1 2 3 METRES	DRAWN C.S.	CHECKED		SCALE AS SHOWN	DATUM AHD
			DATE JUN '22		SHEET 21 OF 30		



DRAINAGE

LONGITUDINAL

SECTIONS

SCALES - HORIZ. 1 : 500
VERT. 1 : 50

**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 23 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

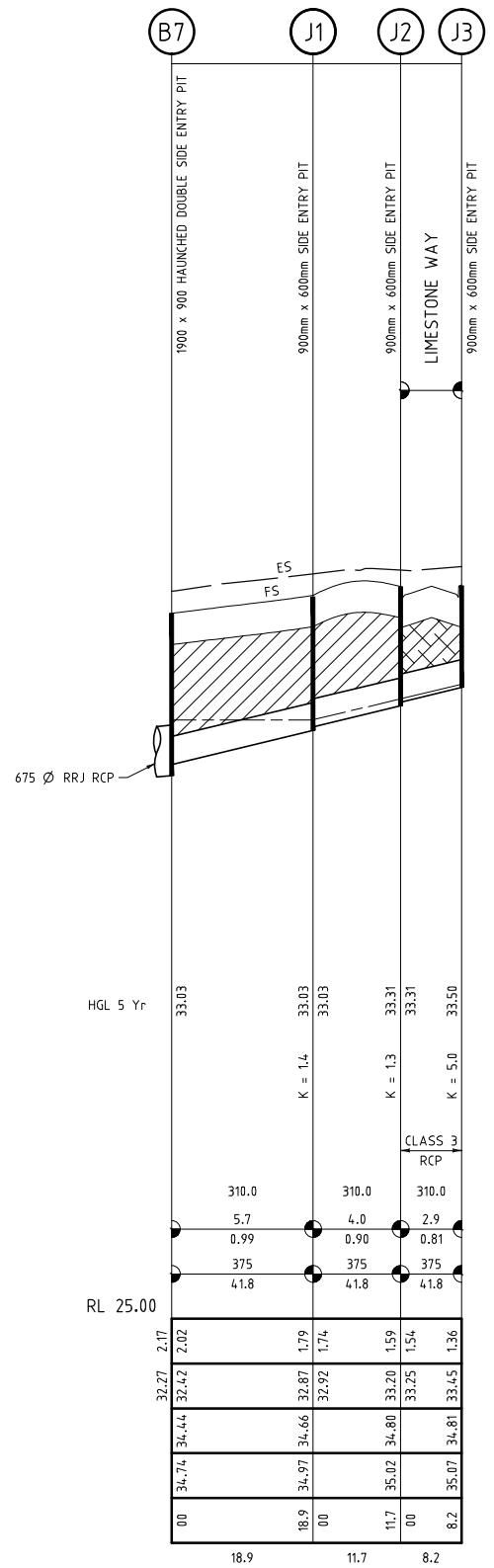
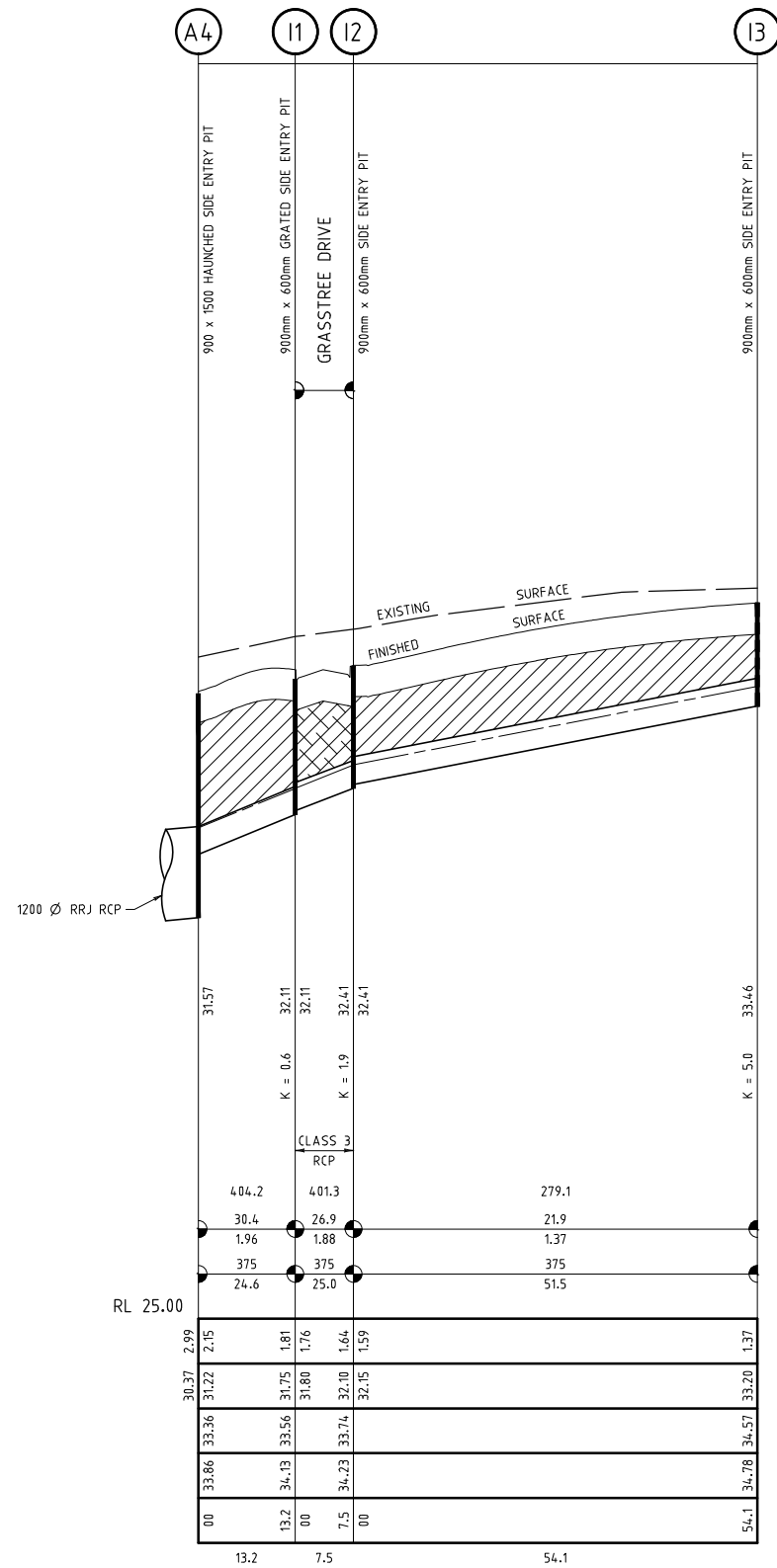
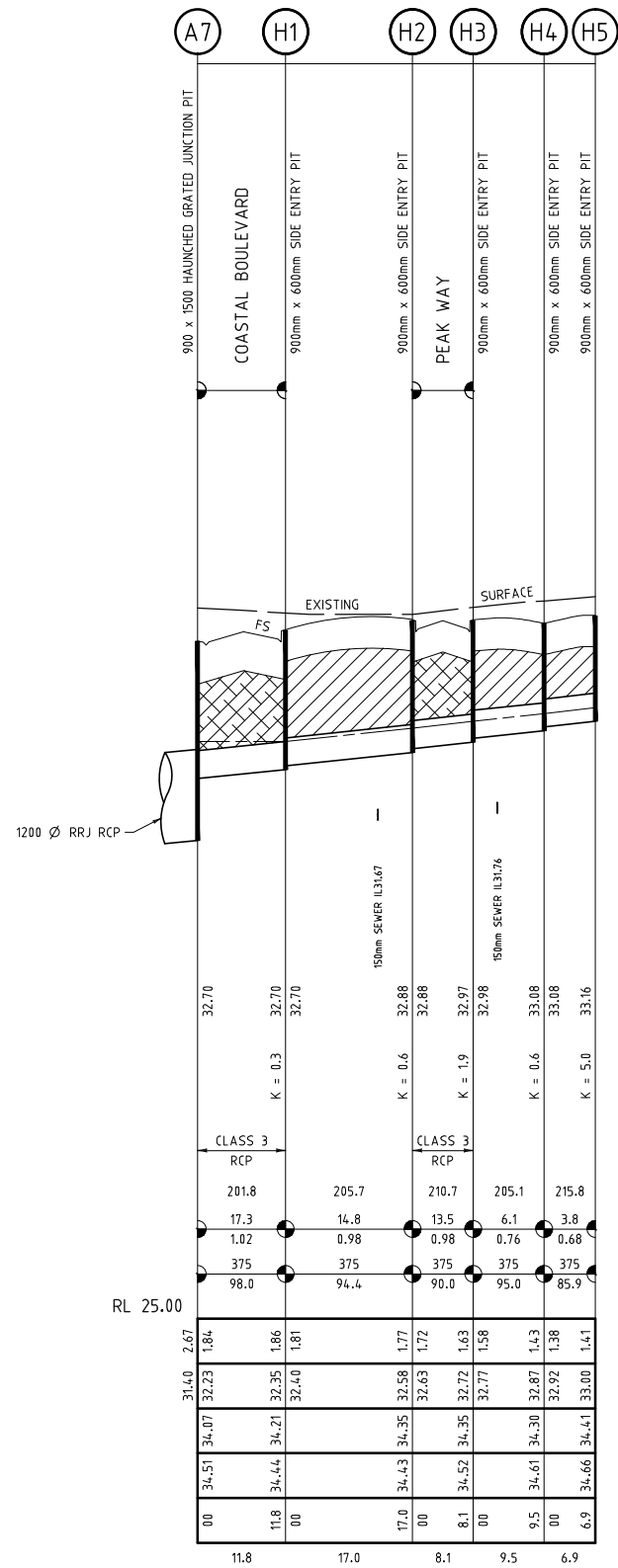
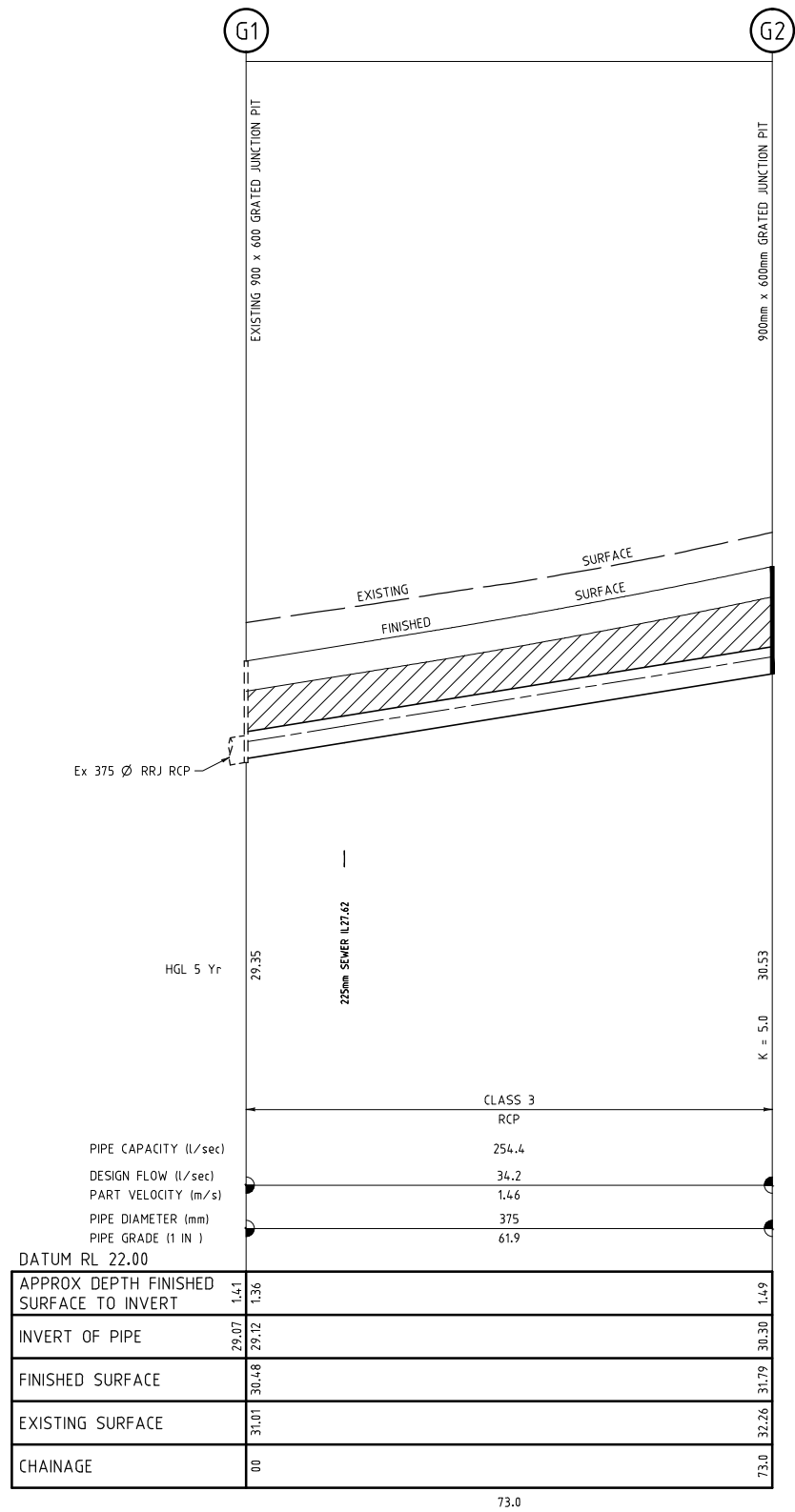
NOTE: THIS IS NOT A BUILDING APPROVAL

DENOTES 20mm CLASS 3 FCR BACKFILL

DENOTES 2% STABILIZED SAND FROM THE BOTTOM OF PIPE TO THE SPRINGLINE WITH 20mm CLASS 3 FCR PLACED FROM THE SPRINGLINE TO SUBBASE MATERIAL.

NOTE
ALL SUMPS IN PRECAST PITS ARE TO BE INFILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE.

AMENDMENTS			Peter Berry & Associates Pty. Ltd. Civil Engineers	153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	
A1	18.01.23	VERSION C	MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6	MUNICIPALITY GREATER GEELONG
	DATE	DESCRIPTION	SURVEYED		REFERENCE 1503 E/6
			DESIGNED P.J.B		
			DRAWN C.S.		
			CHECKED	SCALE AS SHOWN	SHEET 23 OF 30
				DATUM AHD	
				DATE JUN '22	



DRAINAGE

LONGITUDINAL

SECTIONS

SCALES - HORIZ. 1 : 500
VERT. 1 : 50



DENOTES 20mm CLASS 3 FCR BACKFILL



DENOTES 2% STABILIZED SAND FROM THE BOTTOM OF PIPE TO THE SPRINGLINE WITH 20mm CLASS 3 FCR PLACED FROM THE SPRINGLINE TO SUBBASE MATERIAL.

NOTE

ALL SUMPS IN PRECAST PITS ARE TO BE INFILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE.

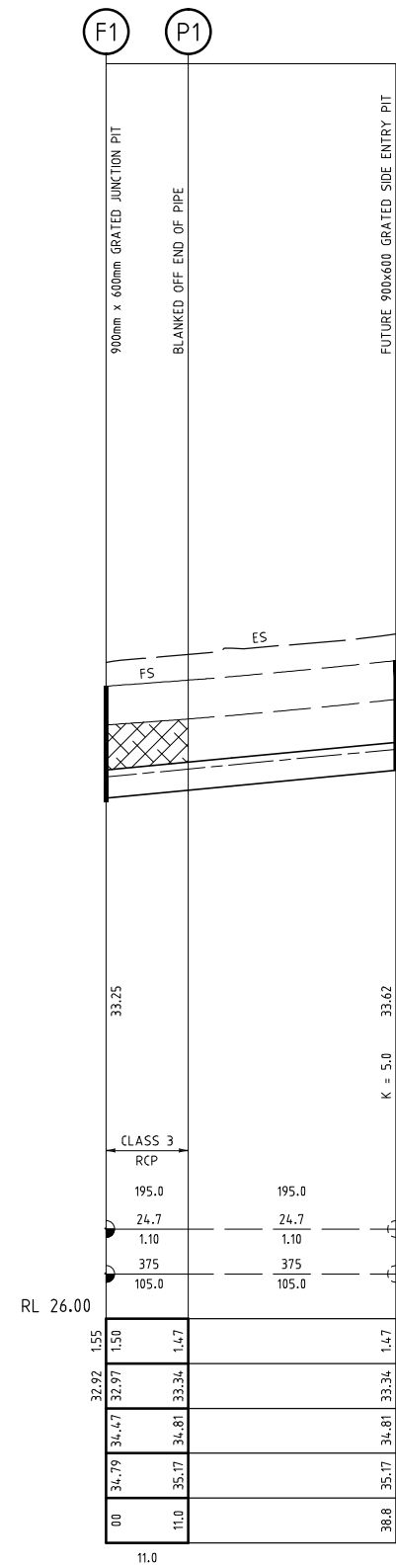
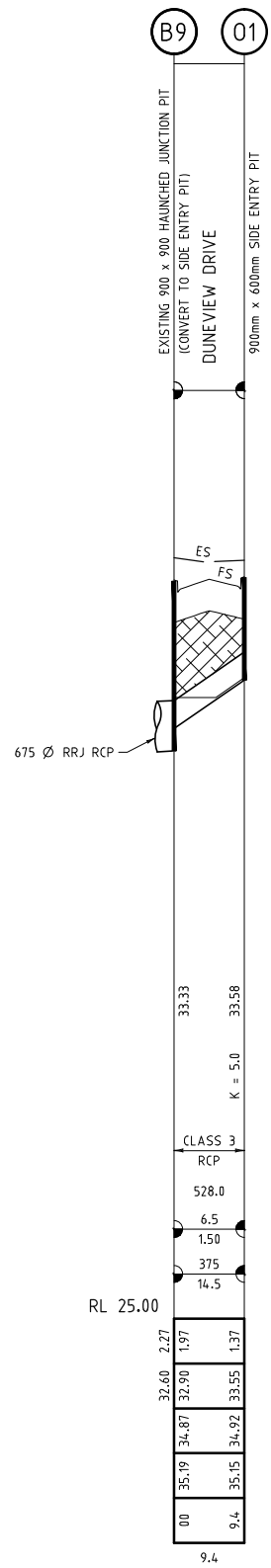
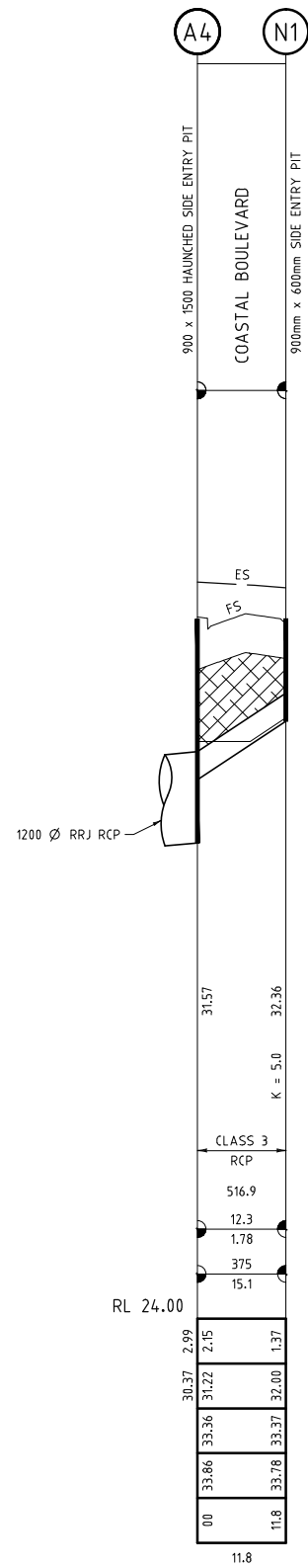
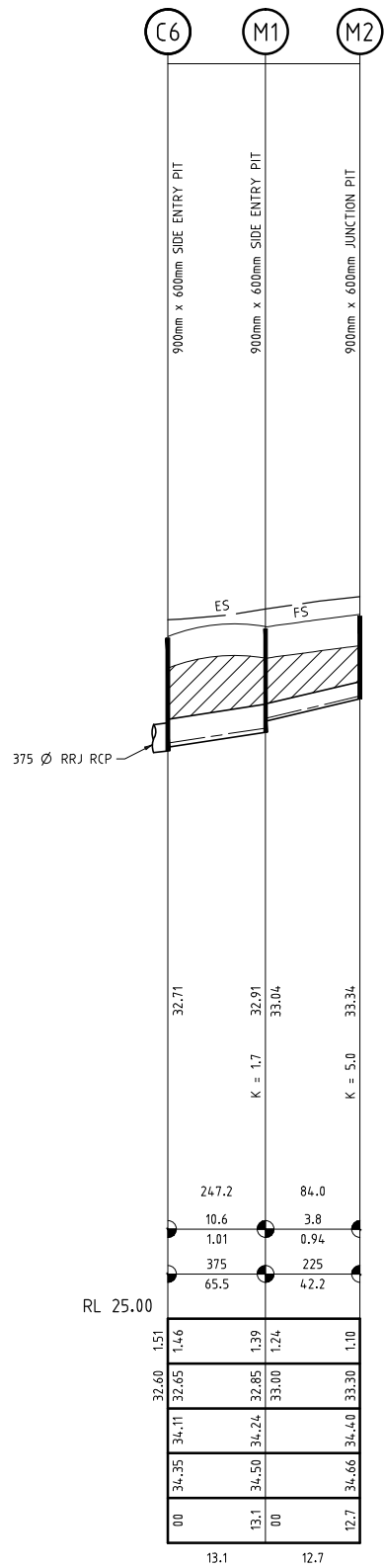
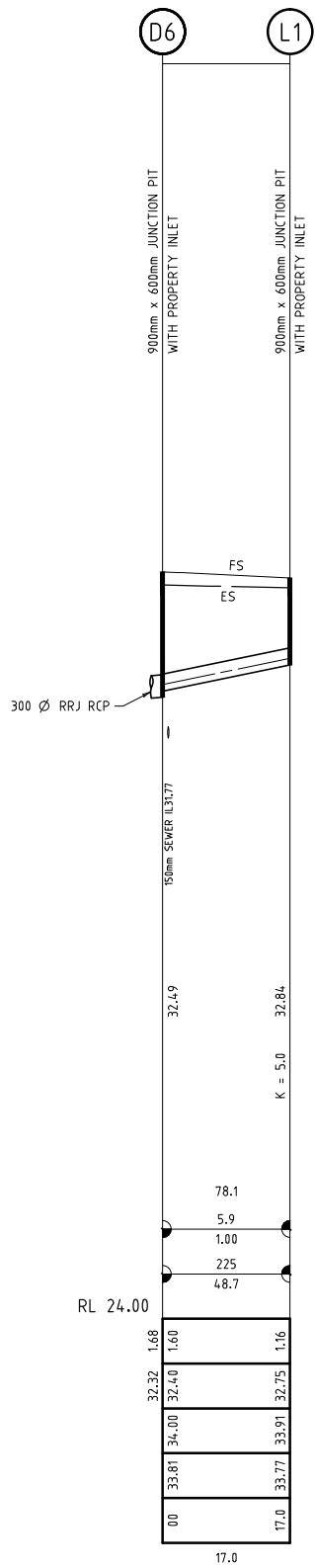
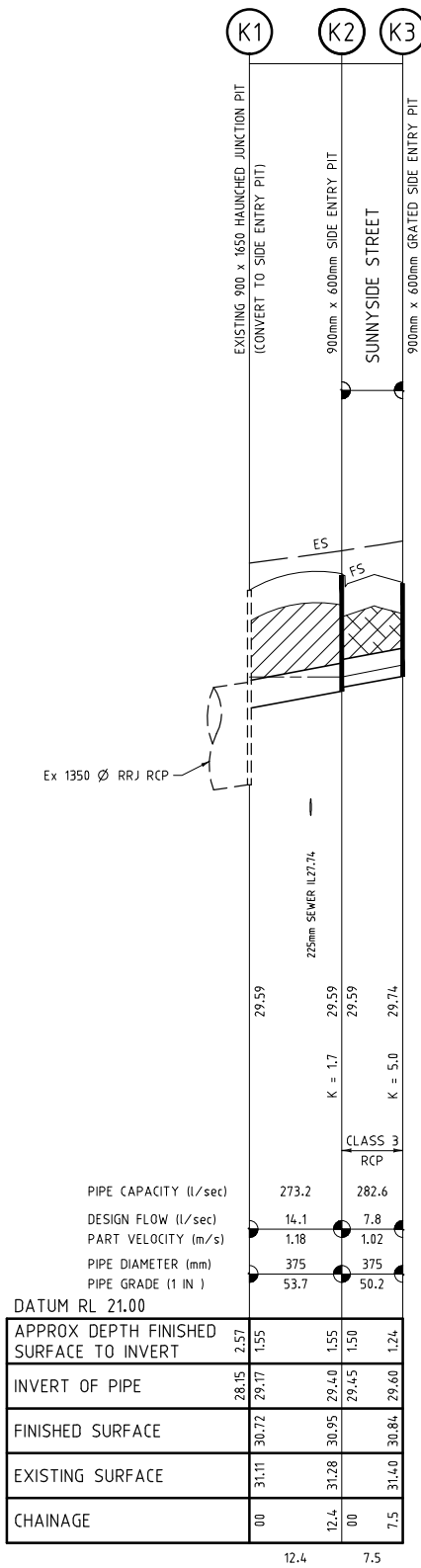
GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 24 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

NOTE: THIS IS NOT A BUILDING APPROVAL

PLANNING PERMIT No 1263/2011

AMENDMENTS			Peter Berry & Associates Pty. Ltd.		153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	
			Civil Engineers			
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6		MUNICIPALITY GREATER GEELONG
	18.01.23	VERSION C	SURVEYED			REFERENCE 1503 E/6
A1	DATE	DESCRIPTION	DESIGNED P.J.B	SCALE AS SHOWN		SHEET 24 OF 30
	1 : 500	1 : 50	DRAWN C.S.			
	1 : 50	1 : 50	CHECKED	DATUM AHD	DATE JUN '22	



DRAINAGE

LONGITUDINAL

SECTIONS

SCALES - HORIZ. 1 : 500
VERT. 1 : 50



DENOTES 20mm CLASS 3 FCR BACKFILL



DENOTES 2% STABILIZED SAND FROM THE BOTTOM OF PIPE TO THE SPRINGLINE WITH 20mm CLASS 3 FCR PLACED FROM THE SPRINGLINE TO SUBBASE MATERIAL.

NOTE

ALL SUMPS IN PRECAST PITS ARE TO BE INFILLED WITH CONCRETE FLUSH TO THE INVERT LEVEL OF THE OUTLET PIPE.

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 25 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

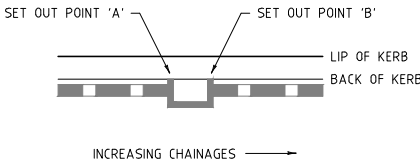
NOTE: THIS IS NOT A BUILDING APPROVAL

PLANNING PERMIT No 1263/2011

AMENDMENTS			Peter Berry & Associates Pty. Ltd.		153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799
			Civil Engineers		
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6	
	18.01.23	VERSION C	SURVEYED		
A1	DATE	DESCRIPTION	DESIGNED P.J.B	REFERENCE 1503 E/6	
	1 : 500	1 : 50	DRAWN C.S.		
	1 : 50	1 : 50	CHECKED	SCALE AS SHOWN	DATUM AHD
			DATE JUN '22	SHEET 25 OF 30	

PIT SCHEDULE										
PIT No.	PIT TYPE	LENGTH	WIDTH	INLET	PIPE Ø	OUTLET	PIPE Ø	FINISHED SURFACE R.L.	PIT DEPTH	PIT TYPE
		mm	mm	L.L.	mm	L.L.	mm	m	m	
A1	EXISTING END OF PIPE	-	-	28.36	1350	28.36	1350	30.77	2.41	-
A2	HAUNCHED DOUBLE SIDE ENTRY PIT	1900	1650	28.67	1350	28.62	1350	31.13	2.51	SD 410, 445
A3	HAUNCHED GRATED JUNCTION PIT	900	1650	29.73	1200	29.65	1350	32.15	2.50	SD 410, 455
A4	HAUNCHED SIDE ENTRY PIT	900	1500	30.42	1200	30.37	1200	33.36	2.99	SD 410, 430
				31.22	375					
				31.22	375					
A5	HAUNCHED DOUBLE SIDE ENTRY PIT	1900	1500	30.77	1200	30.72	1200	33.74	3.02	SD 410, 445
A6	HAUNCHED GRATED JUNCTION PIT	900	1500	31.12	1200	31.07	1200	33.91	2.84	SD 410, 455
				31.92	375					
A7	HAUNCHED GRATED JUNCTION PIT	900	1500	31.45	1200	31.40	1200	34.07	2.67	SD 410, 455
				32.23	375					
A8	HAUNCHED GRATED JUNCTION PIT	900	1500	32.02	1200	31.97	1200	34.42	2.45	SD 410, 455
				32.80	375					
A9	HAUNCHED GRATED JUNCTION PIT	900	1500	32.25	1200	32.20	1200	34.56	2.36	SD 410, 455
* B1	Ex HAUNCHED DOUBLE JUNCTION PIT	1900	900	29.70	675	29.65	675	31.52	1.87	SD 410, 445
				29.80	375					
B2	HAUNCHED SIDE ENTRY PIT	900	900	29.98	675	29.93	675	31.77	1.84	SD 410, 430
B3	HAUNCHED SIDE ENTRY PIT	900	900	30.18	675	30.13	675	31.96	1.83	SD 410, 430
B4	HAUNCHED SIDE ENTRY PIT	900	900	30.39	675	30.34	675	32.15	1.81	SD 410, 430
B5	HAUNCHED SIDE ENTRY PIT	900	900	30.79	675	30.74	675	32.59	1.85	SD 410, 430
B6	HAUNCHED SIDE ENTRY PIT	900	900	31.61	675	31.56	675	33.59	2.03	SD 410, 430
B7	HAUNCHED DOUBLE SIDE ENTRY PIT	1900	900	32.32	675	32.27	675	34.44	2.17	SD 410, 445
				32.42	375					
B8	HAUNCHED SIDE ENTRY PIT	900	900	32.49	675	32.44	675	34.66	2.22	SD 410, 430
* B9	EXISTING HAUNCHED JUNCTION PIT	900	900	32.65	675	32.60	675	34.87	2.27	SD 410, 430
				32.90	375					
C1	SIDE ENTRY PIT	900	600	29.99	375	29.94	375	31.59	1.65	SD 405, 430
C2	SIDE ENTRY PIT	900	600	30.67	375	30.62	375	32.17	1.55	SD 405, 430
C3	SIDE ENTRY PIT	900	600	31.36	375	31.31	375	32.83	1.52	SD 405, 430
C4	SIDE ENTRY PIT	900	600	32.35	375	32.30	375	33.85	1.55	SD 405, 430
C5	SIDE ENTRY PIT	900	600	32.52	375	32.47	375	34.09	1.62	SD 405, 430
C6	SIDE ENTRY PIT	900	600	32.65	375	32.60	375	34.11	1.51	SD 405, 430
				32.65	375					
C7	SIDE ENTRY PIT	900	600	-	-	33.00	375	34.39	1.39	SD 405, 430
D1	EXISTING END OF PIPE	-	-	29.33	300	29.33	300	31.08	1.75	-
D2	JUNCTION PIT	900	600	29.91	300	29.86	300	31.34	1.48	SD 405, 425
D3	JUNCTION PIT	900	600	30.60	300	30.55	300	32.12	1.57	SD 405, 425
D4	JUNCTION PIT	900	600	31.05	300	31.00	300	32.50	1.50	SD 405, 425
D5	JUNCTION PIT	900	600	31.90	300	31.85	300	33.25	1.40	SD 405, 425
D6	JUNCTION PIT	900	600	32.40	225	32.32	300	34.00	1.68	SD 405, 425
				32.40	225					
D7	JUNCTION PIT	900	600	-	-	32.75	225	34.06	1.31	SD 405, 425
E1	JUNCTION PIT	900	600	33.25	375	33.20	375	35.04	1.84	SD 405, 425
E2	JUNCTION PIT	900	600	33.65	375	33.60	375	35.30	1.70	SD 405, 425
E3	JUNCTION PIT	900	600	34.05	300	33.97	375	35.38	1.41	SD 405, 425
F1	GRATED JUNCTION PIT	900	600	33.02	300	32.92	375	34.47	1.55	SD 405, 455
				32.97	375					
F2	JUNCTION PIT	900	600	33.49	300	33.44	300	35.04	1.60	SD 405, 425
F3	JUNCTION PIT	900	600	33.88	300	33.83	300	35.21	1.38	SD 405, 425
F4	BLANKED OFF END OF PIPE	-	-	-	-	34.17	300	35.32	1.15	-
G1	EXISTING GRATED JUNCTION PIT	900	600	29.12	375	29.07	375	30.48	1.41	SD 405, 455
G2	GRATED JUNCTION PIT	900	600	-	-	30.30	375	31.79	1.49	SD 405, 455
H1	SIDE ENTRY PIT	900	600	32.40	375	32.35	375	34.21	1.86	SD 405, 430
H2	SIDE ENTRY PIT	900	600	32.63	375	32.58	375	34.35	1.77	SD 405, 430
H3	SIDE ENTRY PIT	900	600	32.77	375	32.72	375	34.35	1.63	SD 405, 430
H4	SIDE ENTRY PIT	900	600	32.92	375	32.87	375	34.30	1.43	SD 405, 430
H5	SIDE ENTRY PIT	900	600	-	-	33.00	375	34.41	1.41	SD 405, 430
I1	GRATED SIDE ENTRY PIT	900	600	31.80	375	31.75	375	33.56	1.81	SD 405, 475
I2	SIDE ENTRY PIT	900	600	32.15	375	32.10	375	33.74	1.64	SD 405, 430
I3	SIDE ENTRY PIT	900	600	-	-	33.20	375	34.57	1.37	SD 405, 430
J1	SIDE ENTRY PIT	900	600	32.92	375	32.87	375	34.66	1.79	SD 405, 430
J2	SIDE ENTRY PIT	900	600	33.25	375	33.20	375	34.80	1.59	SD 405, 430
J3	SIDE ENTRY PIT	900	600	-	-	33.45	375	34.81	1.36	SD 405, 430
* K1	EXISTING HAUNCHED JUNCTION PIT	900	1650	29.17	375	28.15	1350	30.72	2.57	SD 410, 430
K2	SIDE ENTRY PIT	900	600	29.45	375	29.40	375	30.95	1.55	SD 405, 430
K3	GRATED SIDE ENTRY PIT	900	600	-	-	29.60	375	30.84	1.24	SD 405, 475
L1	JUNCTION PIT	900	600	-	-	32.75	225	33.91	1.16	SD 405, 425
M1	SIDE ENTRY PIT	900	600	33.00	225	32.85	375	34.24	1.39	SD 405, 430
M2	JUNCTION PIT	900	600	-	-	33.30	225	34.40	1.10	SD 405, 420
N1	SIDE ENTRY PIT	900	600	-	-	32.00	375	33.37	1.37	SD 405, 430
O1	SIDE ENTRY PIT	900	600	-	-	33.55	375	34.92	1.37	SD 405, 430
P1	BLANKED OFF END OF PIPE	-	-	-	-	33.34	375	34.81	1.47	-

NOTE: PIT DENOTED THUS “*” IS TO BE CONVERTED TO A SIDE ENTRY PIT WITH APPROPRIATE COVER.


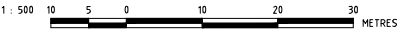


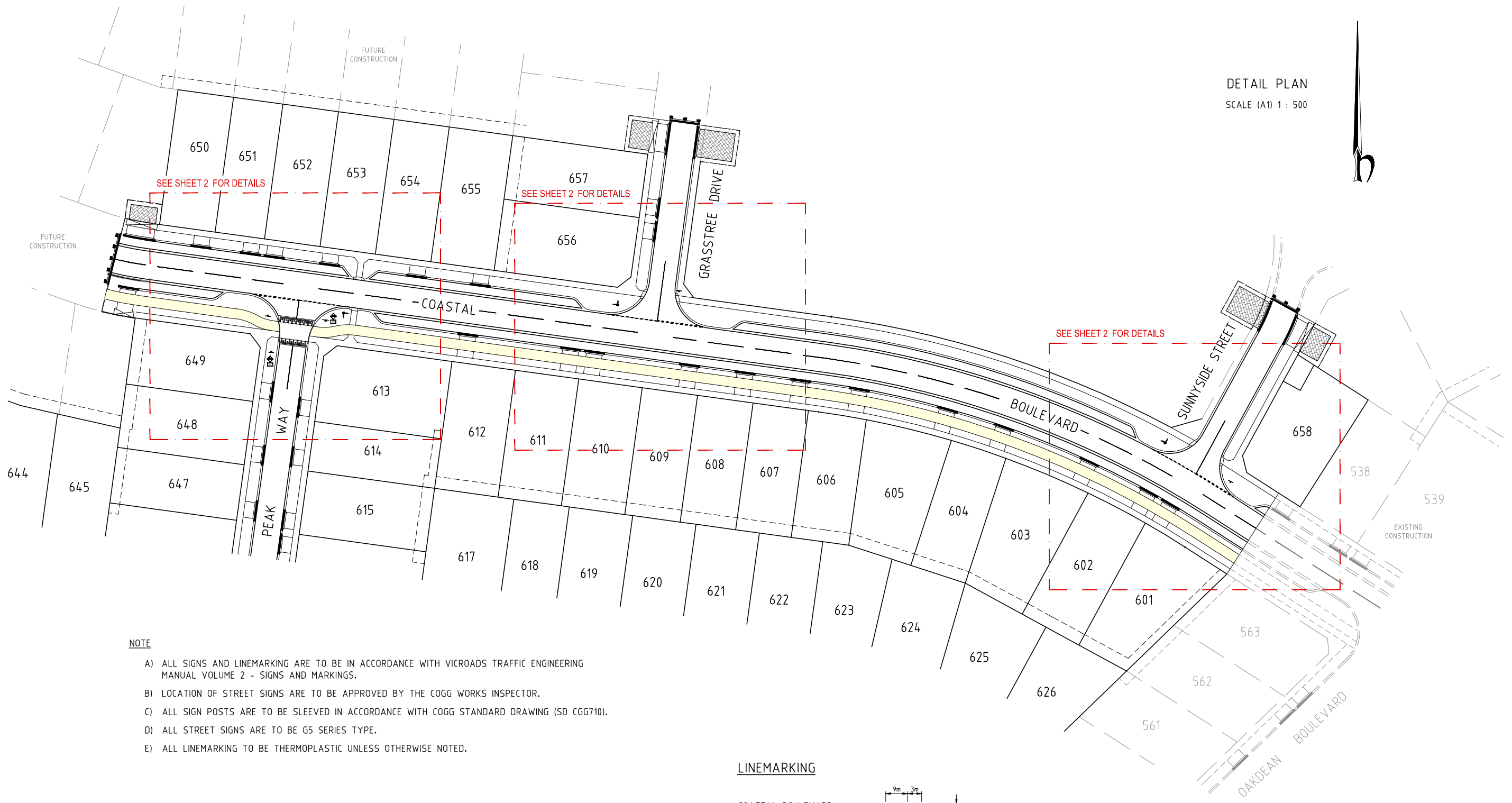
PIT SETOUT SCHEDULE				
PIT No	POINT 'A' E	POINT 'A' N	POINT 'B' E	POINT 'B' N
A2	2189.51	923.51	2191.19	922.63
A3	2136.69	943.38	2137.56	943.15
A4	2080.17	952.85	2081.06	952.73
A5	2052.73	956.62	2054.61	956.36
A6	2027.18	959.93	2028.07	959.81
A7	2002.41	963.33	2003.3	963.2
A8	1948.42	970.74	1949.31	978.62
A9	1930.79	973.76	1931.66	973.52
B2	2124.47	847.12	2125.32	846.82
B3	2110.54	851.14	2111.42	850.94
B4	2096.31	853.54	2097.2	853.41
B5	2064.6	857.89	2065.5	857.77
B6	1996.25	867.27	1997.14	867.15
B7	1935.78	875.57	1937.65	875.32
B8	1919.41	885.7	1920.29	885.52
C1	2140.35	848.6	2141.16	848.21
C2	2096.02	861.15	2096.92	861.02
C3	2048.47	867.67	2049.37	867.55
C4	1979.47	877.15	1980.36	877.02
C5	1971.65	887.46	1971.77	888.35
C6	1964.22	888.48	1964.34	889.37
C7	1969.12	924.15	1969.24	925.04
F1	1939.61	964.38	1940.5	964.25
G2	2150.49	931.36	2151.35	931.08
H1	1993.78	956.74	1994.67	956.62
H2	1979.75	946.45	1979.87	947.34
H3	1972.32	947.47	1972.44	948.36
H4	1970.45	957.85	1971.03	957.16
H5	1964.01	960.83	1964.9	960.7
I1	2072.35	963.16	2072.47	964.06
I2	2064.92	964.18	2065.04	965.08
I3	2072.26	1017.63	2072.38	1018.52
J1	1918.05	878.32	1918.93	878.14
J2	1907.53	872.67	1907.89	873.5
J3	1899.9	873.74	1900.02	874.63
K2	2209.66	921.95	2210.09	922.73
K3	2203.46	926.24	2203.89	927.03
M2	1940.48	882.5	1941.37	882.38
M1	1953.02	880.78	1953.91	880.65
N1	2071.38	946.29	2072.27	946.17
O1	1892.79	886.66	1893.63	886.35
P1	1929.15	966.12	C/L	PIPE

GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME

Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 26 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023

NOTE: THIS IS NOT A BUILDING APPROVAL

PLANNING PERMIT No 1263/2011									
AMENDMENTS			 Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799		
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6				MUNICIPALITY	
	18.01.23	VERSION C	SURVEYED					GREATER GEELONG	
DATE	DESCRIPTION	DESIGNED P.J.B	REFERENCE						
A1			DRAWN C.S.					1503 E/6	
			CHECKED					SCALE AS SHOWN	



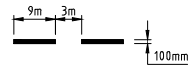
DETAIL PLAN
SCALE (A1) 1 : 500



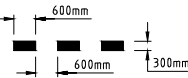
- NOTE
- A) ALL SIGNS AND LINEMARKING ARE TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2 - SIGNS AND MARKINGS.
 - B) LOCATION OF STREET SIGNS ARE TO BE APPROVED BY THE COGG WORKS INSPECTOR.
 - C) ALL SIGN POSTS ARE TO BE SLEEVED IN ACCORDANCE WITH COGG STANDARD DRAWING (SD CGG710).
 - D) ALL STREET SIGNS ARE TO BE G5 SERIES TYPE.
 - E) ALL LINEMARKING TO BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

LINEMARKING

COASTAL BOULEVARD



GIVEWAY (HOLDING LINE)





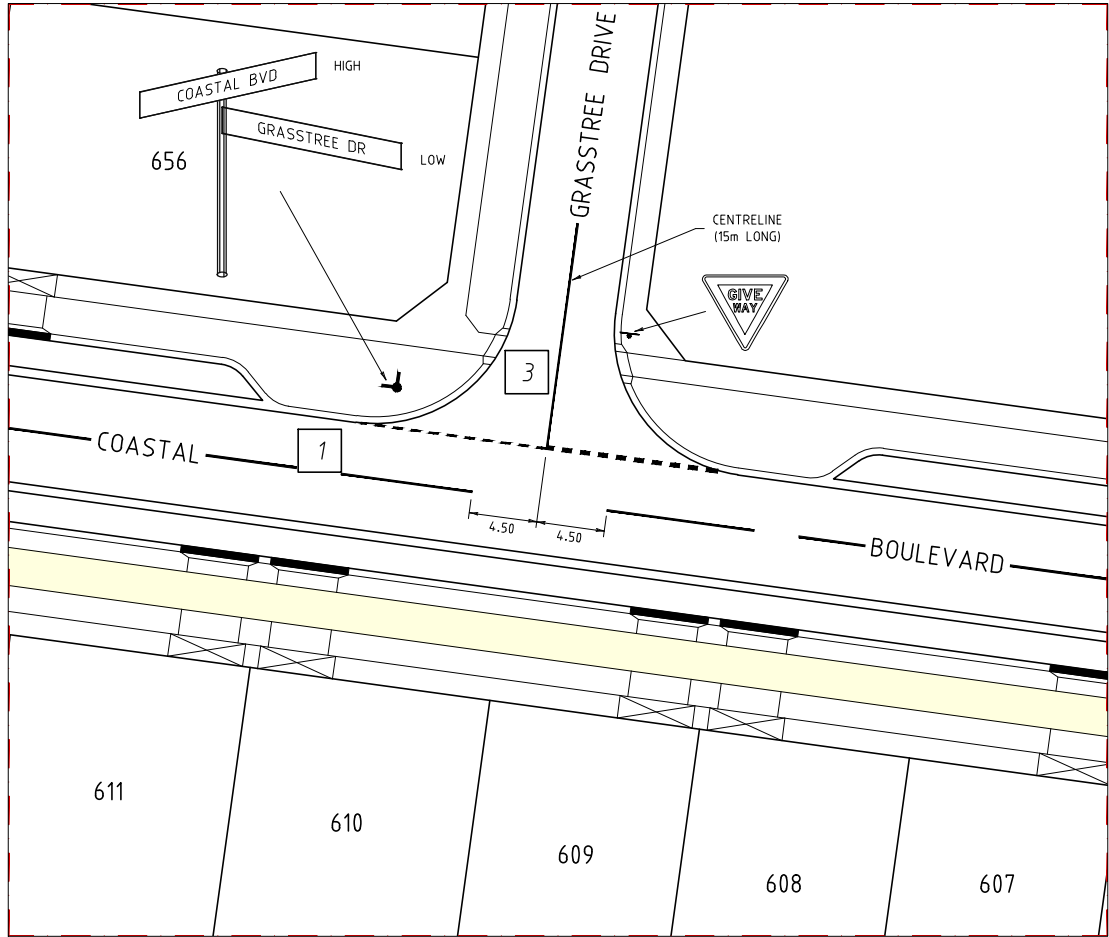
**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

**Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 27 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023**

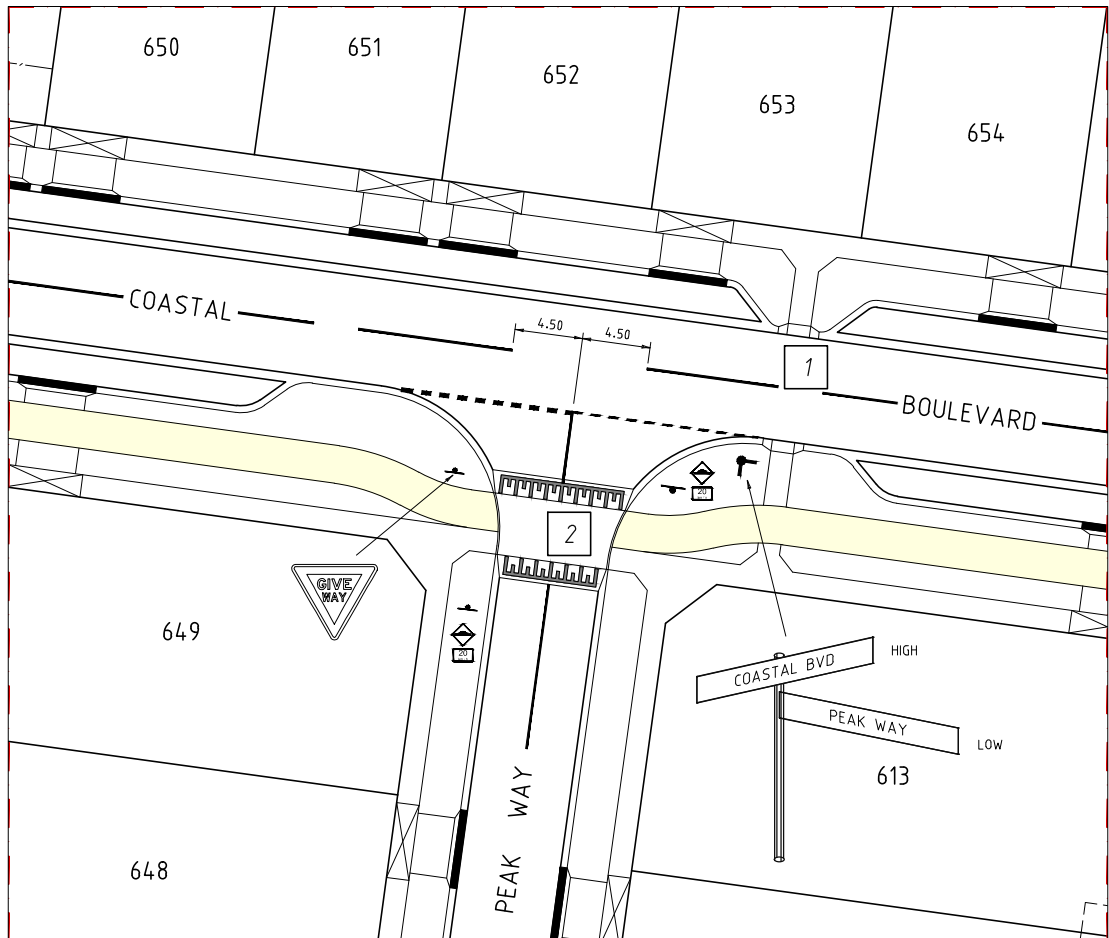
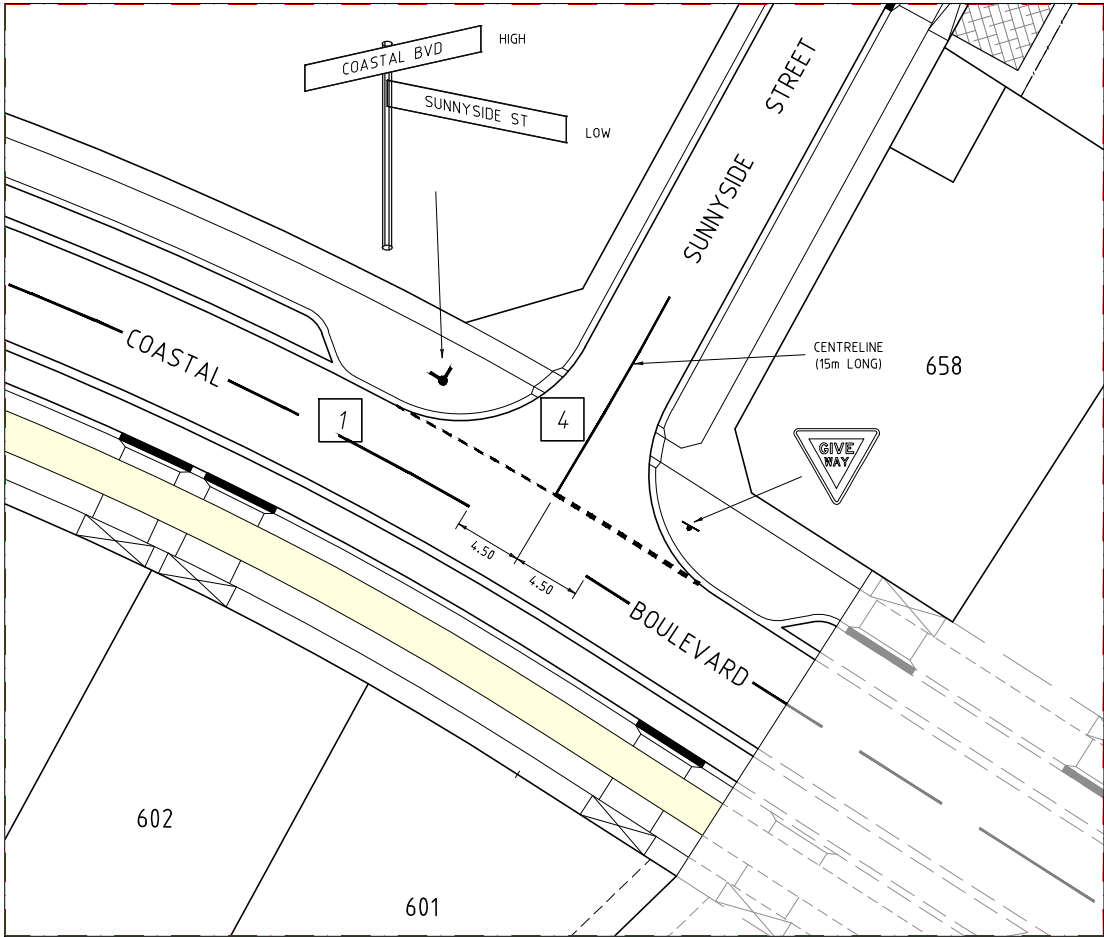
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PLANNING PERMIT No 1263/2011

AMENDMENTS					Peter Berry & Associates Pty. Ltd. Civil Engineers			153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6 STREET SIGNS & LINEMARKING PLAN			MUNICIPALITY GREATER GEELONG		
	18.01.23	VERSION C	SURVEYED				REFERENCE 1503 E/6		
DATE	DESCRIPTION	DESIGNED P.J.B	DRAWN C.S.						
A1	1 : 500 		CHECKED	SCALE AS SHOWN	DATUM	AHD	DATE JUN '22	SHEET 27 OF 30	



DETAIL PLANS
SCALE (A1) 1 : 250



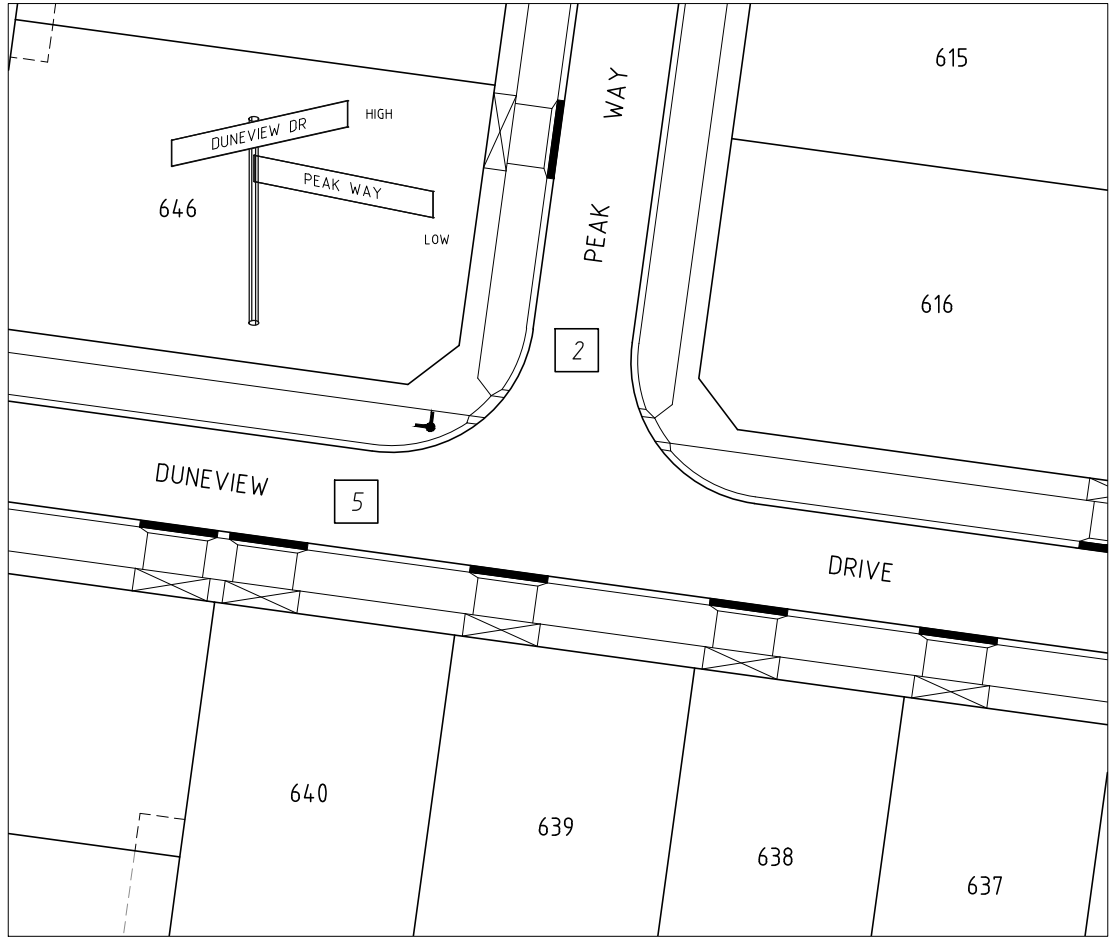
**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

**Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 28 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023**

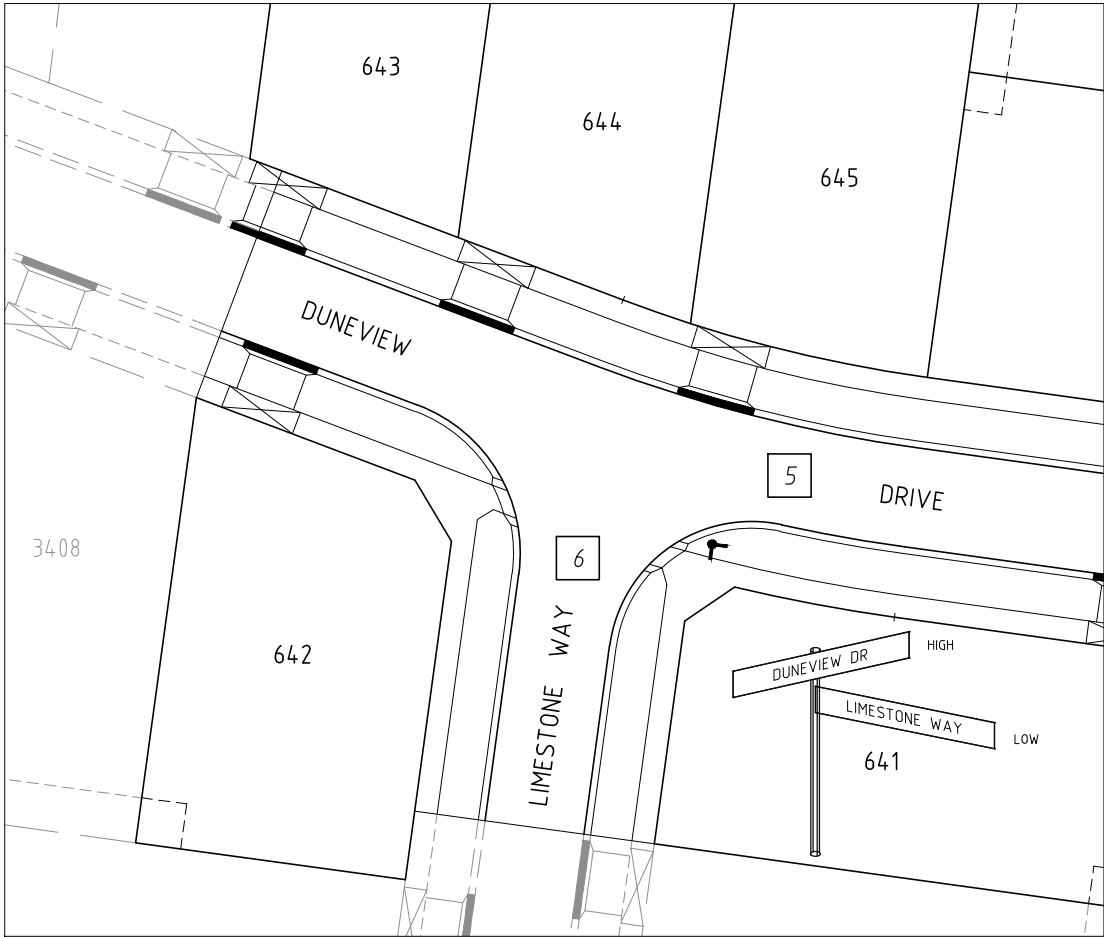
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PLANNING PERMIT No 1263/2011



AMENDMENTS			Peter Berry & Associates Pty. Ltd. Civil Engineers		153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6 STREET SIGNS & LINEMARKING PLAN	
	18.01.23	VERSION C	SURVEYED		
	DATE	DESCRIPTION	DESIGNED P.J.B		
A1	1 : 250	5 2.5 0 5 10 15 METRES	DRAWN C.S.	REFERENCE 1503 E/6	
	CHECKED	SCALE AS SHOWN	DATUM AHD	DATE JUN '22	SHEET 28 OF 30



DETAIL PLANS
SCALE (A1) 1 : 250



SIGN LEGEND

1	COASTAL BVD	3 No	6	LIMESTONE WAY	1 No
2	PEAK WAY	2 No		2 No (R1-2A)	
3	GRASSTREE DR	1 No		2 No (W5-10)	
4	SUNNYSIDE ST	1 No	20 km / h	2 No (W8-2)	
5	DUNEVIEW DR	2 No			



**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

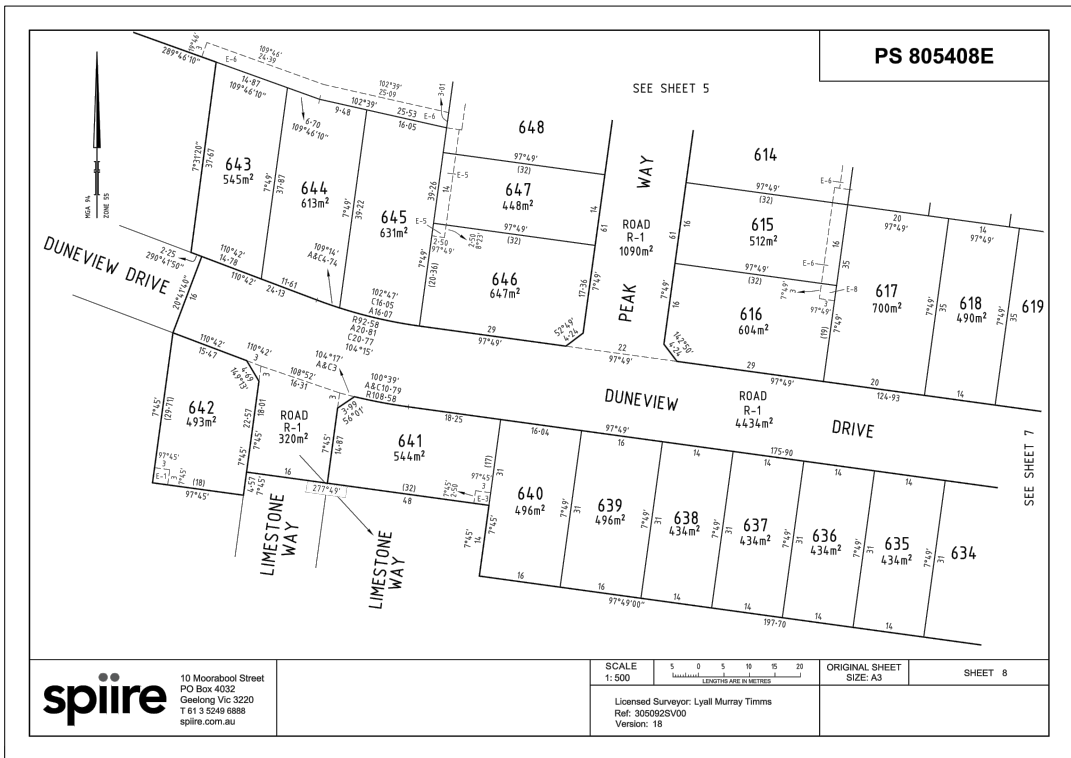
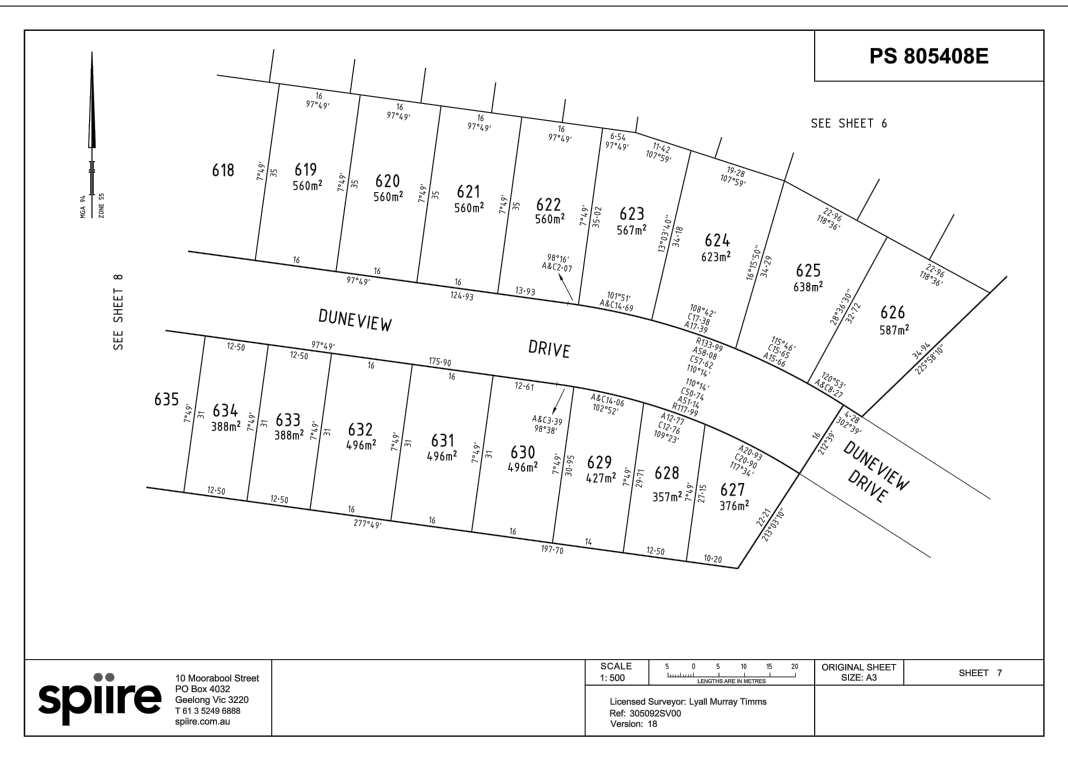
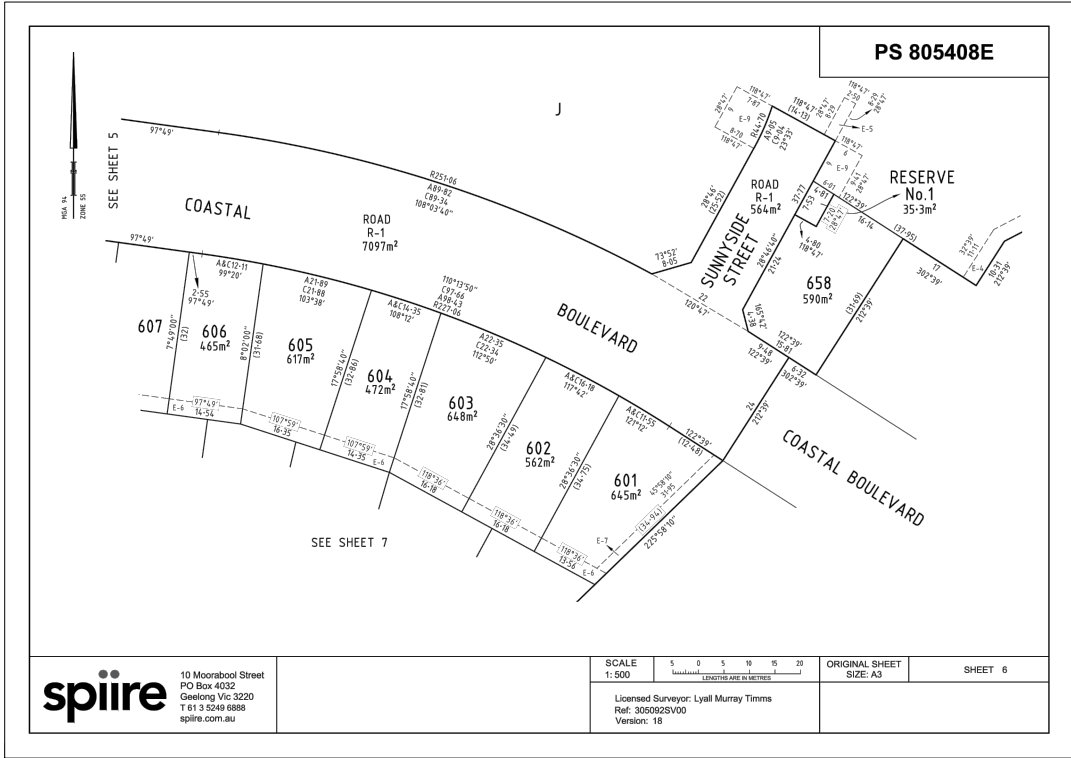
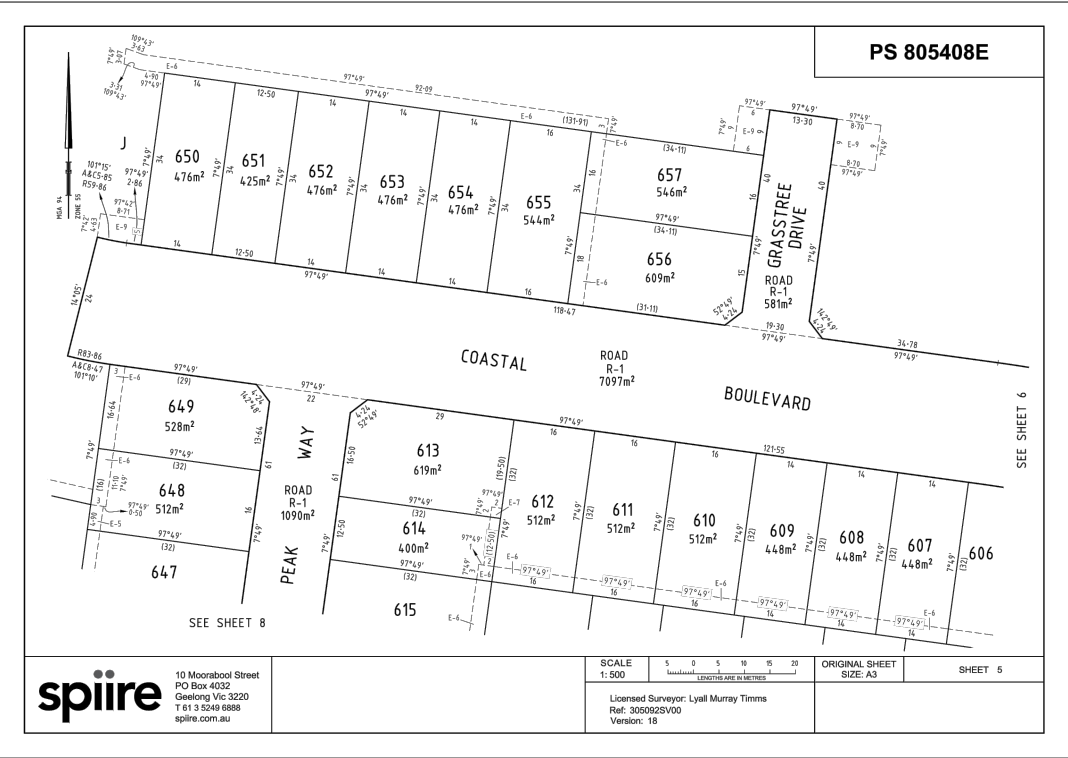
**Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 29 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023**

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- NOTE
- A) ALL SIGNS AND LINEMARKING ARE TO BE IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2 - SIGNS AND MARKINGS.
- B) LOCATION OF STREET SIGNS ARE TO BE APPROVED BY THE COGG WORKS INSPECTOR.
- C) ALL SIGN POSTS ARE TO BE SLEEVED IN ACCORDANCE WITH COGG STANDARD DRAWING (SD CGG710).
- D) ALL STREET SIGNS ARE TO BE G5 SERIES TYPE.
- E) ALL LINEMARKING TO BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

PLANNING PERMIT No 1263/2011

AMENDMENTS							Peter Berry & Associates Pty. Ltd.			153 Yarra Street	
							Civil Engineers			Geelong Victoria 3220	
										Telephone: 5223 2799	
	18.01.23	VERSION C	MELWAY REF. 484G7		KINGSTON COAST ESTATE STAGE 6 STREET SIGNS & LINEMARKING PLAN				MUNICIPALITY		
			SURVEYED						GREATER GEELONG		
			DESIGNED P.J.B						REFERENCE		
	DATE	DESCRIPTION	DRAWN C.S.						1503 E/6		
A1	1 : 250  METRES		CHECKED		SCALE AS SHOWN		DATUM	AHD	DATE	JUN '22	SHEET 29 OF 30



**GREATER GEELONG CITY COUNCIL
PLANNING ENVIRONMENT ACT 1987
GREATER GEELONG PLANNING SCHEME**

**Endorsed Plan
Planning Permit No: PP-1263-2011 Cert-15374
Sheet 30 of 30
Approved By Angelica Kirtley
Approved Date 19/01/2023**

NOTE: THIS IS NOT A BUILDING APPROVAL

PLANNING PERMIT No 1263/2011

AMENDMENTS			Peter Berry & Associates Pty. Ltd. Civil Engineers				153 Yarra Street Geelong Victoria 3220 Telephone: 5223 2799	
			MELWAY REF. 484G7	KINGSTON COAST ESTATE STAGE 6 PLAN OF SUBDIVISION				MUNICIPALITY GREATER GEELONG
	18.01.23	VERSION C	SURVEYED					REFERENCE 1503 E/6
	DATE	DESCRIPTION	DESIGNED P.J.B.					SHEET 30 OF 30
A1			DRAWN C.S.	SCALE AS SHOWN DATUM AHD DATE JUN '22				
			CHECKED					